

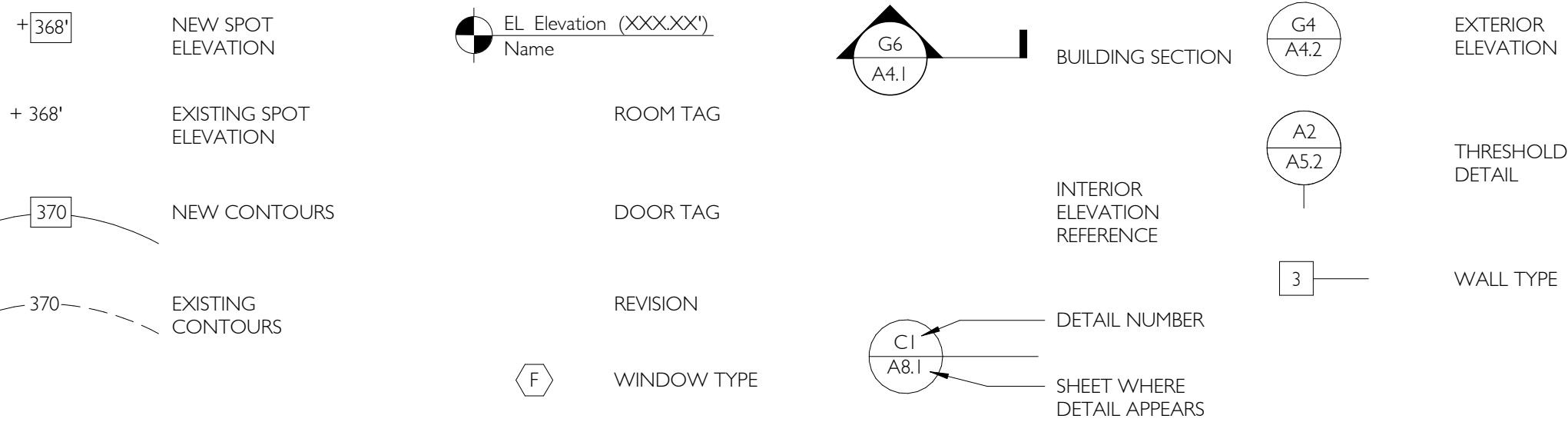
CONSTRUCTION DOCUMENTS PREPARED FOR:

POTOMAC TOWERS - ROOF REPLACEMENT

LOCATED AT:
11 W BALTIMORE ST.
HAGERSTOWN, MD 21740

ISSUED ON:
May 29, 2019

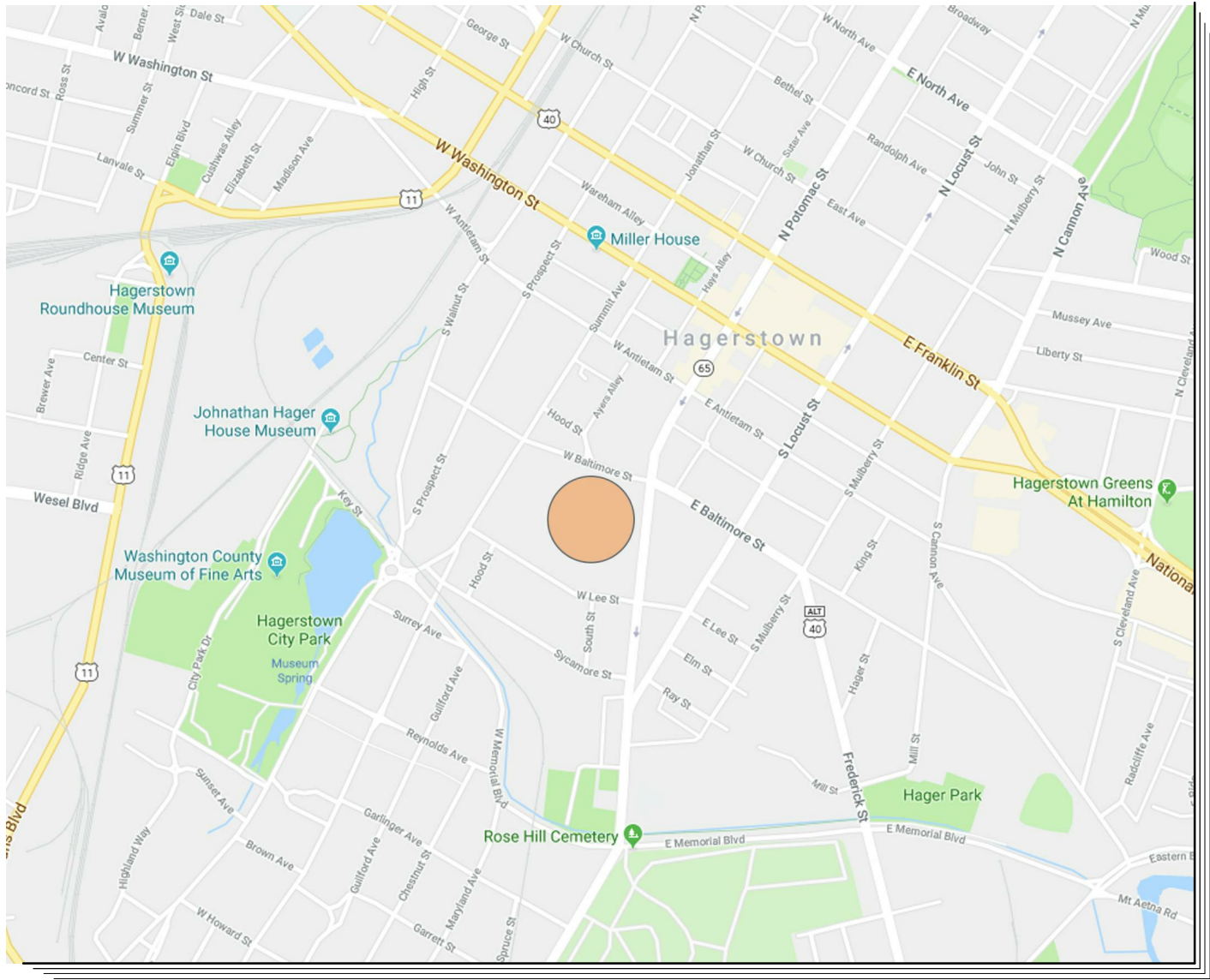
SYMBOLS



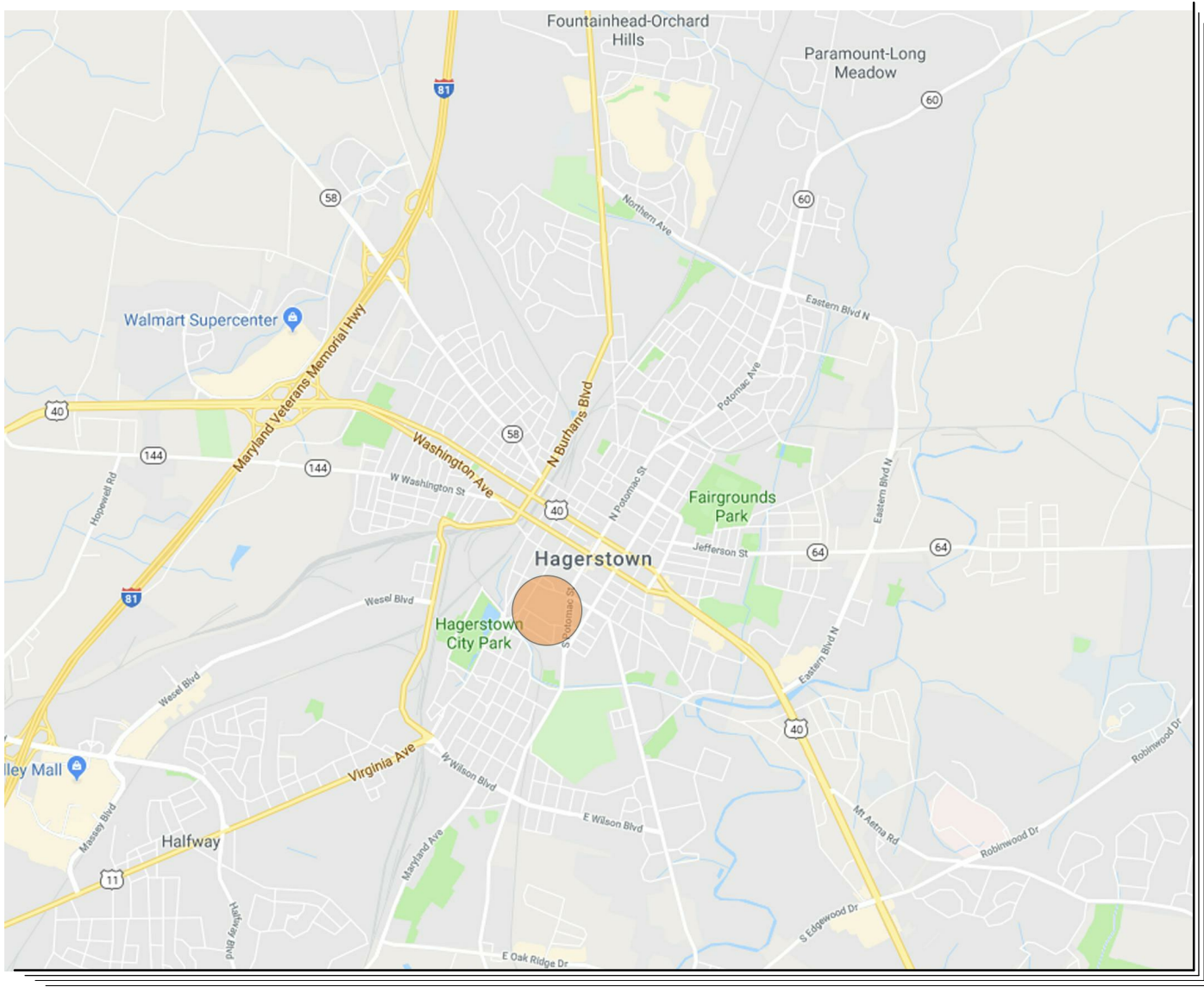
GENERAL CODES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- WHERE THERE IS A CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. PRIOR TO CONSTRUCTION, IF CONTRACTOR PROCEEDS WITHOUT NOTIFICATION, THE COST OF MODIFICATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CODES:
ALL WORK ON THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
A. CURRENT INTERNATIONAL BUILDING CODE.
B. CURRENT INTERNATIONAL MECHANICAL CODE.
C. CURRENT INTERNATIONAL ELECTRICAL CODE AS APPLICABLE.
D. CURRENT NFPA LIFE SAFETY CODES.
E. APPLICABLE CITY/STATE PLUMBING CODES.
F. CURRENT STATE FIRE CODES.
G. COMPLIANCE WITH AMERICAN WITH DISABILITIES ACT (ADA).
- PERMITS:
OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING PERMITS. THE PERMIT FEES AND THE COSTS OF PROCURING SAME SHALL BE BORNE ENTIRELY BY OWNER. THE PROJECT'S GENERAL CONTRACTOR (G.C.) WILL COORDINATE, SCHEDULE AND PAY FOR ALL REQUIRED SUBCONTRACTOR PERMITS & INSPECTIONS.
- EXISTING CONDITIONS:
THE G.C. SHALL VERIFY ALL EXISTING CONDITIONS AND DETERMINE THEIR EFFECT ON THE DESIGN PROPOSAL AS SHOWN HEREIN. CARE SHALL BE TAKE TO AVOID ANY INTERRUPTIONS TO THE NORMAL BUSINESS ACTIVITIES OF THE EXISTING TENANTS TO THE ADJACENT BUILDING.
- INTERIOR FINISHES:
FINISHES OF FLOORS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING OF 26-75 OR LESS AND A SMOKE DEVELOPED RATING OF 0-450 PER NFPA 101. G.C. TO SUBMIT CONFIRMATION INFORMATION ON ALL FLAME SPREAD RATINGS AS REQUIRED.
- LIFE SAFETY ITEMS:
THE G.C. SHALL BE RESPONSIBLE FOR THE REVIEW, COORDINATION, AND INSTALLATION OF REQUIRED LIFE SAFETY EQUIPMENT INCLUDING BUT NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTS, AND FIRE EXTINGUISHER CABINETS (FIRE EXTINGUISHERS). ADDITIONALLY, EGRESS PATHS SHALL BE REVIEWED WITH APPROPRIATE FIRE DEPARTMENT PERSONNEL AND SHALL BE COORDINATED WITH FURNITURE & PARTITIONS.
- WORKMANSHIP STANDARDS:
ALL WORK SHALL BE PERFORMED IN A SAFE AND EXPEDITIOUS MANNER USING THE RECOMMENDED TOOLS IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE APPROPRIATE TRADE. THE BUILDING SITE SHALL BE KEPT CLEAN AND FREE OF DEBRIS AT ALL TIMES. CARE SHALL BE TAKEN TO PREVENT TRASH FROM BEING BLOWN ONTO AND ACCUMULATING ON ADJACENT PROPERTIES AND PUBLIC STREETS.
- PROJECT DELIVERY:
THE PROJECT G.C. SHALL ARRANGE AND EXECUTE ALL FINAL INSPECTIONS AND PROCURE A CERTIFICATE FOR OCCUPANCY. ADDITIONALLY, THE G.C. SHALL DELIVER INTERIORS FREE OF MARKS, FINGERPRINTS, STAINS, DIRT AND DEBRIS. LIGHT FIXTURES, PLUMBING FIXTURES, EQUIPMENT, GLASS AND HARDWARE WILL BE CLEAN AND "JUST FREE" BY COMMERCIAL STANDARDS. SITE SHALL BE CLEANED AND FREE OF EXTRANEOUS DEBRIS PRIOR TO ACCEPTANCE. G.C. SHALL RESTORE LAWNS AND PATCH ANY PAVING DAMAGED DURING CONSTRUCTION.
- EGRESS DOORS SHALL BE OPERABLE FROM THE DIRECTION OF EXIT TRAVEL WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- IN CONSTRUCTION TYPES 1 & 2, THE CONTRACTOR SHALL PROVIDE FIRE TREATED WOOD WHEREVER WOOD IS CALLED FOR IN THE DRAWINGS.
- ALL CONTRACTORS ARE REQUIRED TO REVIEW ALL DRAWINGS REGARDLESS OF DISCIPLINE AND SHALL BE HELD RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER DISCIPLINES.
- IF ANY CONFLICTS ARE FOUND ON THE DRAWINGS OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR IS RESPONSIBLE FOR PRICING THE MOST EXPENSIVE OF THE CONFLICTING PRODUCTS/ASSEMBLY/SYSTEM.
- THE G.C. IS RESPONSIBLE FOR ANY TEMPORARY SHORING REQUIRED TO PERFORM WORK. ALL SHORING SHALL BE ENGINEERED BY AN ENGINEER LICENSED IN THE STATE WHERE THE WORK IS BEING PERFORMED. SUBMIT ENGINEER SIGNED/SEALED DRAWINGS FOR REVIEW.

MAPS



LOCATION MAP



VICINITY MAP

ABBREVIATIONS

A/C	AIR CONDITIONING	ELEV	ELEVATION	INT	INTERIOR	REV	REVISION
ACT	ACOUSTICAL CEILING TILE	EMER	EMERGENCY	JAN	JANITOR'S CLOSET	RM	ROOM
AWP	ACOUSTICAL WALL PANEL	EQ	EQUAL	JT	JOINT	RO	ROUGH OPENING
AFF	ABOVE FINISHED FLOOR	EQPT	EQUIPMENT	KIT	KITCHEN	RTG	RATING
ALT	ALTERNATE	EX	EXISTING	LAM	LAMINATE	S	SOUTH
ALUM	ALUMINUM	EXP	EXPOSED	LAV	LAVATORY	SC	SOLID CORE
ANOD	ANODIZED FINISH	EXT	EXTERIOR	MAX	MAXIMUM	SCH	SCHEDULE
APROX	APPROXIMATE	FD	FLOOR DRAIN	MECH	MECHANICAL	SF	SQUARE FOOT
ASPH	ASPHALT	FE	FIRE EXTINGUISHER	MTL	METAL	SHT	SHEET
BLDG	BUILDING	FEC	FIRE EXTINGUISHER CABINET	MFR	MANUFACTURER	SIM	SIMILAR
BRL	BUILDING RESTRICTION LINE	FIN	FINISH (ED)	MH	MANHOLE	SPEC	SPECIFICATIONS
CAB	CABINET	FLR	FLOOR	MIN	MINIMUM	SS	STAINLESS STEEL
CJ	CONTROL JOINT	FT	FEET/FOOT	MISC	MISCELLANEOUS	ST	STREET
CL	CENTER LINE	FTG	FOOTING	MO	MASONRY OPENING	STL	STEEL
CLG	CEILING	FURR	FURRING	MULL	MULLION	T&G	TONGUE & GROOVE
CLR	CLEAR	GA	GAUGE	N/A	NOT APPLICABLE	TEL	TELEPHONE
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	N	NORTH	TEMP	TEMPORARY
CNT	CONTINUOUS	GC	GENERAL CONTRACTOR	NIC	NOT IN CONTRACT	TV	TELEVISION
COL	COLUMN	GL	GLAZING	NO	NUMBER	TYP	TYPICAL
CONC	CONCRETE	G.S.F.	GROSS SQUARE FEET	NTS	NOT TO SCALE	UON	UNLESS OTHERWISE NOTED
CPT	CARPET	GWB	GYPSPUM WALLBOARD	PERF	PERFORATED	VERT	VERTICAL
CT	CERAMIC TILE	H/C	HANDICAPPED	PNL	PANEL	VCT	VINYL TILE
CW	COLD WATER	HC	HOLLOW CORE	PNT	PAINT	VWC	VINYL WALL COVERING
DF	DRINKING FOUNTAIN	HM	HOLLOW METAL	PREFAB	PREFABRICATED	W/	WITH
DIA	DIAMETER	HORZ	HORIZONTAL	PSF	POUNDS PER SQUARE FOOT	W/O	WITHOUT
DIM	DIMENSION	HR	HOUR	PT	PRESSURE TREATED	W	WEST
DIV	DIVISION	HT	HEIGHT	PWD	PLYWOOD	WC	WATER CLOSET
DN	DOWN	HVAC	HEATING, VENTING & AIR CONDITIONING	RAD	RADIUS	WD	WOOD
DS	DOWNSPOUT	HW	HOT WATER	RD	ROAD	WIN	WINDOW
DWG	DRAWING	IN	INCH			WP	WATERPROOFING
E	EAST	INS	INSULATION				
EJ	EXPANSION JOINT						



1165 Imperial Drive, Suite 208
Hagerstown, MD 21740

Phone: 301.791.7935

POTOMAC TOWERS - ROOF REPLACEMENT

11 W BALTIMORE ST.
HAGERSTOWN, MD 21740

PROJECT OWNER:

HAGERSTOWN HOUSING AUTHORITY
35 W BALTIMORE ST
HAGERSTOWN MD, 21740

PROJECT ARCHITECT:

MSB ARCHITECTS
1165 IMPERIAL DRIVE
SUITE 208
HAGERSTOWN, MD 21740

May 29, 2019

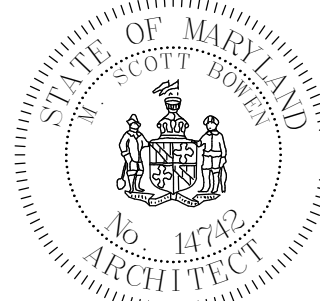
PHASE:

CONSTRUCTION
DOCUMENTS

SUBMITTALS / REVISIONS

ISSUE DATE	DRAWN BY	DESCRIPTION
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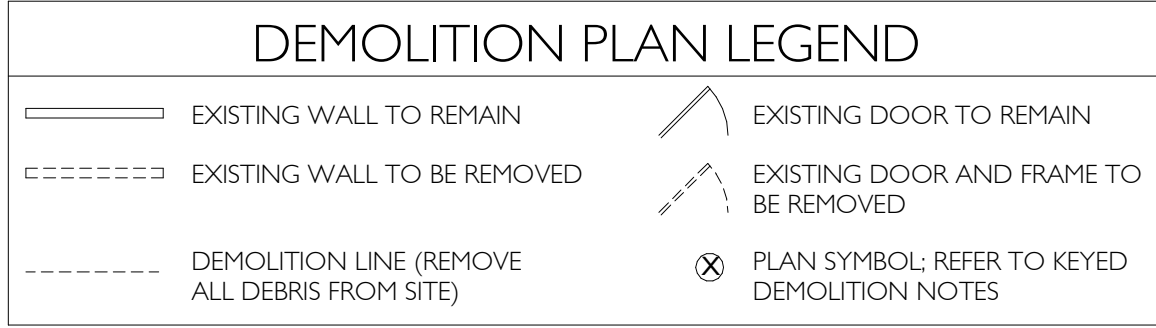
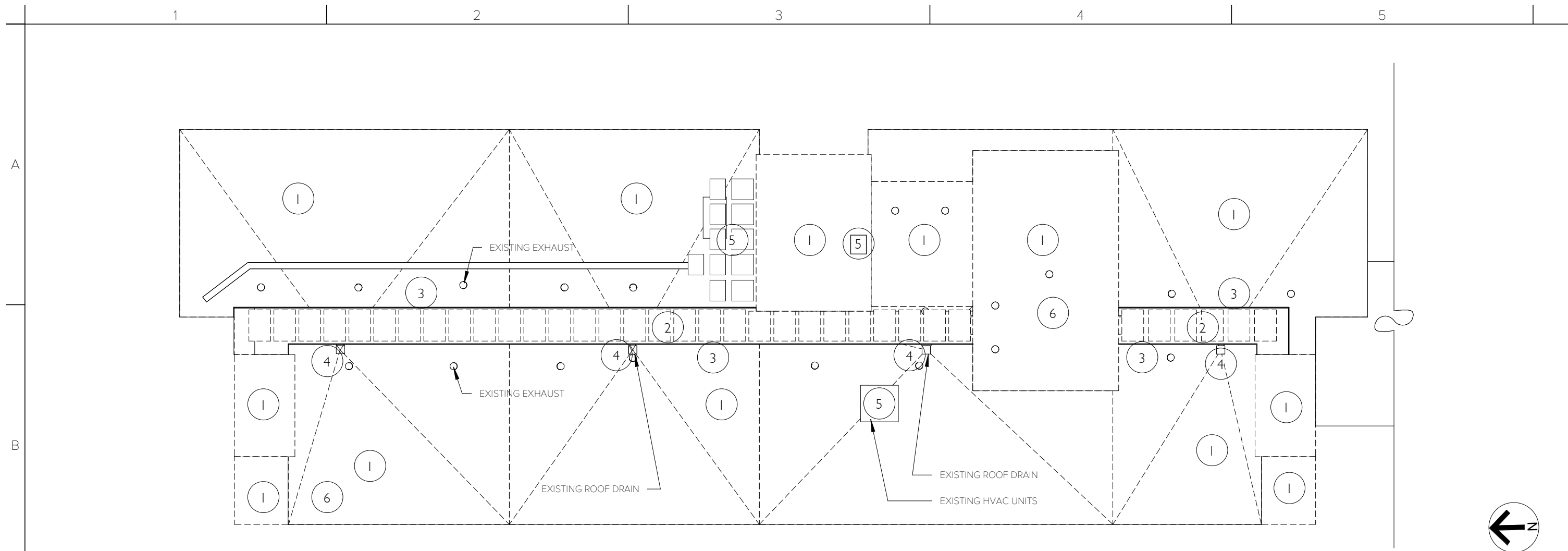
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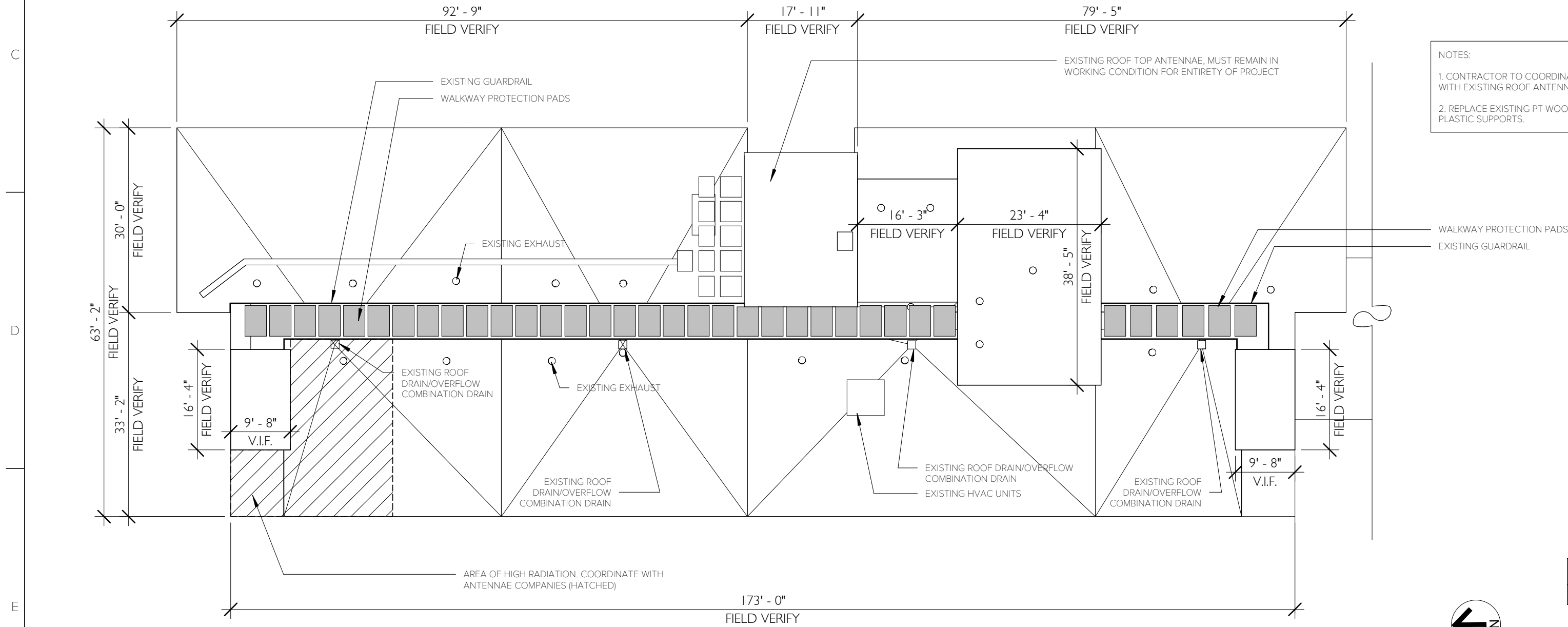
LICENSE NUMBER: 14742

EXPIRATION DATE: 8/24/2020

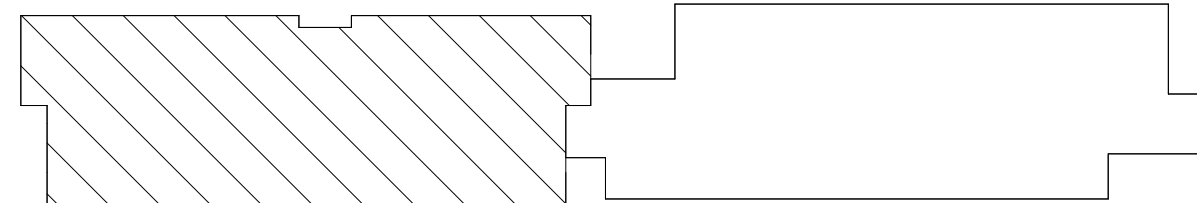


- DEMOLITION KEY**
- | KEY # | KEYNOTE |
|-------|---|
| 1 | REMOVE EXISTING ROOF SYSTEM IN ITS ENTIRETY TO CONCRETE DECK |
| 2 | REMOVE EXISTING WALKWAY PROTECTION PADS |
| 3 | REMOVE AND REUSE EXISTING GUARDRAILS |
| 4 | REMOVE EXISTING ROOF DRAIN/OVERFLOW COMBINATION DRAIN. CONTRACTOR TO CHECK EXISTING STORM DRAIN FOR CLOGS AND LEAKS |
| 5 | EXISTING HVAC TO CONTINUE USAGE THROUGHOUT PROJECT. CONTRACTOR TO COORDINATE ANY SHUTDOWN WITH OWNER |
| 6 | EXISTING ANTENNAE. CONTRACTOR TO COORDINATE WITH BUILDING OWNER AND ANTENNAE OWNER |

BI DEMOLITION PLAN - POTOMAC TOWER ROOF - NORTH
1/16" = 1'-0"

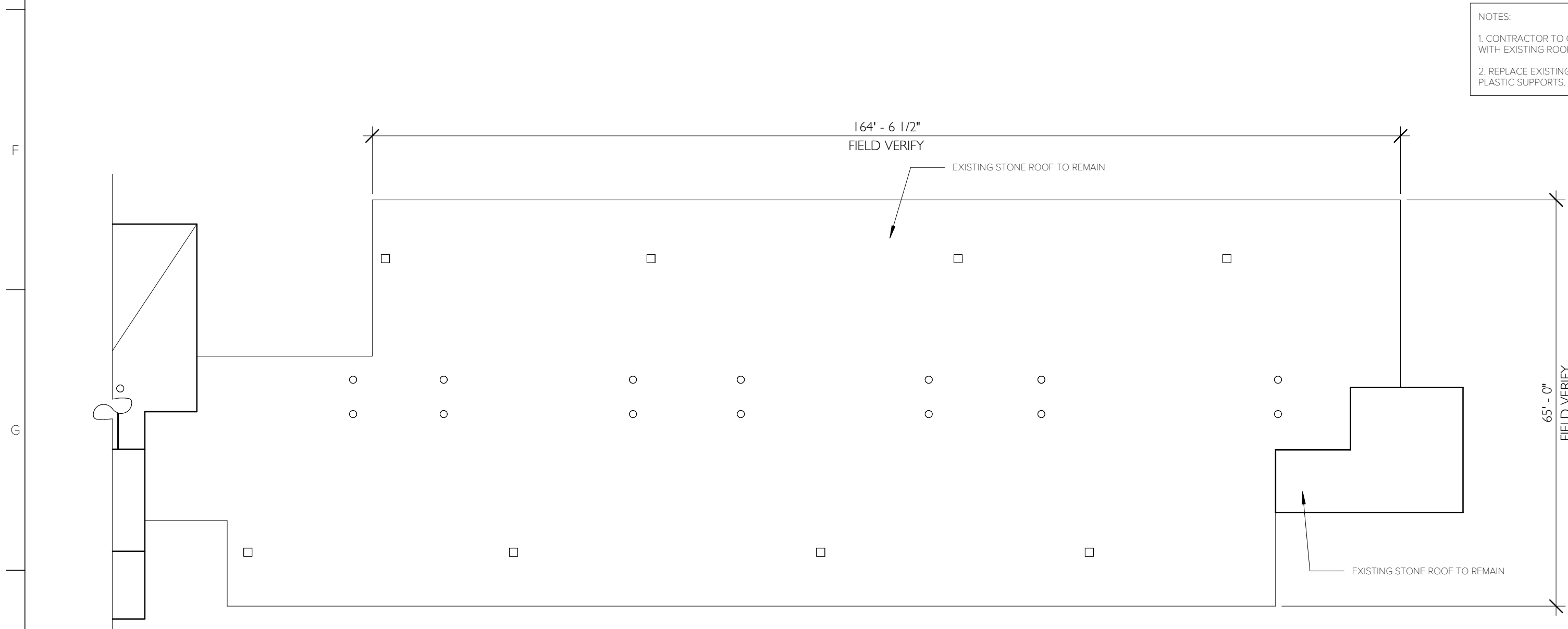


- NOTES:**
- CONTRACTOR TO COORDINATE INSTALLATION OF ROOFING MEMBRANE WITH EXISTING ROOF ANTENNAE AND OTHER OBSTRUCTIONS.
 - REPLACE EXISTING PT WOOD SUPPORTS UNDER UNITS WITH METAL OR PLASTIC SUPPORTS.

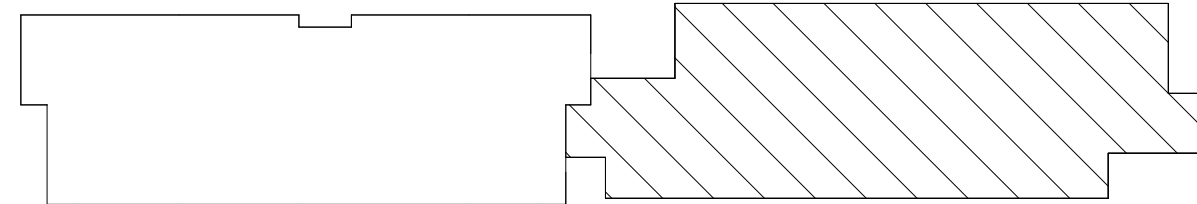
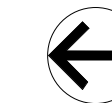


KEY PLAN

EI POTOMAC TOWER ROOF - NORTH
1/16" = 1'-0"



- NOTES:**
- CONTRACTOR TO COORDINATE INSTALLATION OF ROOFING MEMBRANE WITH EXISTING ROOF ANTENNAE AND OTHER OBSTRUCTIONS.
 - REPLACE EXISTING PT WOOD SUPPORTS UNDER UNITS WITH METAL OR PLASTIC SUPPORTS.



KEY PLAN

HI POTOMAC TOWER ROOF - SOUTH
1/16" = 1'-0"

GENERAL DEMOLITION NOTES

- DO NOT SCALE DRAWINGS. CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT SITE BEFORE PROCEEDING WITH WORK. EXISTING DIMENSIONS NOTED ON DRAWING ARE FROM OWNER PROVIDED DOCUMENTS AND HAVE NOT BEEN FIELD VERIFIED.
- ALL CODED DEMOLITION NOTES ARE NOT REFERENCED ON ALL PLAN DRAWINGS. CODED DEMOLITION NOTES MAY BE GROUPED FOR CLARITY BUT IN NO WAY SHOULD BE CONSTRUED AS LIMITING THE SCOPE OF WORK TO PARTICULAR GROUPING. ALL NOTES SHOULD BE REVIEWED TO ESTABLISH THE OVERALL SCOPE OF WORK.
- ANY CONFLICT OR DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD 'AS-BUILT' CONDITIONS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WITH WORK.
- DEMOLITION DRAWINGS ARE INTENDED TO INDICATE SCOPE AND GENERAL INTENT OF THE GENERAL DEMOLITION WORK REQUIRED, BUT DO NOT IN ANY WAY LIMIT THE AMOUNT OF DEMOLITION ONLY TO THE ITEMS SHOWN. DEMOLITION WORK INCLUDES REMOVAL OF ALL THAT WILL INTERFERE WITH THE CONSTRUCTION AND PATCHING AS REQUIRED AT ALL DISTURBED AREAS WITHOUT LIMITATION.
- SEE ARCHITECTURAL DRAWINGS TO DETERMINE EXTENT OF DEMOLITION REQUIRED TO EXISTING PARTITIONS.
- PATCHING REQUIRED BY DEMOLITION WORK SHALL MATCH EXISTING ADJACENT MATERIALS.
- DEMOLISH ITEM COMPLETE WITH ALL ADHESIVES, FASTENERS, AND ACCESSORIES.
- SALVAGE EXISTING FINISH MATERIALS WHEREVER POSSIBLE FOR PATCHING EXISTING FINISHES. COORDINATE EXTENT OF THE FINISH WORK REQUIRED WITH CONSTRUCTION DOCUMENTS.
- SALVAGE EQUIPMENT OR OTHER ITEMS AS NOTED. SALVAGED EQUIPMENT SHALL BE REUSED OR RETURNED TO OWNER AS DIRECTED.
- CAREFULLY REMOVE ITEMS TO BE REUSED AND STORE IN AN AREA AS DIRECTED BY THE OWNER.
- CONTRACTOR TO PROVIDE ALL NECESSARY SHORING REQUIRED DURING DEMOLITION. IF SHORING IS REQUIRED AS PART OF MEANS AND METHODS DURING CONSTRUCTION TO COMPLETE THE WORK, THE CONTRACTOR IS REQUIRED TO OBTAIN SIGNED & SEALED DRAWINGS BY A LICENSED ENGINEER IN THE STATE OF THE PROJECT

GENERAL ROOF NOTES

- THE REPLACEMENT OF THE ROOF SHALL BE CONDUCTED IN SUCH A MANNER AS TO PROTECT THE EXISTING BUILDING AND ALL OF ITS CONTENTS IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED DURING THE PERFORMANCE OF THEIR CONTRACTED WORK.
- DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO CONFIRM AND GENERAL CONTRACTOR TO COORDINATE.
- MINIMUM SLOPE ALLOWABLE ON THE ROOF SHALL BE NO LESS THAN 1/4" PER FOOT. CRICKET THE UP SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS OVER 20" IN WIDTH.
- ALL NEW CRICKET AND TAPERED INSULATION SHALL BE INSTALLED WITH A FINISH 1/4" PER FOOT MIN. SLOPE. CRICKET THE UP SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS.
- ALL PIPING/CONDUITS/ETC. SHALL BE A MIN. 10" ABOVE ROOF SURFACE. PROVIDE PORTABLE PIPE HANGERS WITH PROTECTION PADS. MEP CONTRACTOR SHALL PROVIDE SUPPORTS FOR NEW LINES.
- PROVIDE 22ga. STAINLESS STEEL, 2D FINISH, TREATED WOOD CURB AND BOX HOOD AT ALL GAS LINE AND WATER LINE ROOF PENETRAIONS.
- ISOLATE ALL HEAT PIPES/FLUES AS RECOMMENDED & OUTLINED IN THE NRCA MANUAL ISOLATED STACK FLASHING.
- PROVIDE WALKWAY PROTECTION PADS AROUND ALL ROOF HATCHES, A/C UNITS, AND AT ALL ROOF TOP ACCESS DOORS AND LADDERS (TOP & BOTTOM)
- GENERAL CONTRACTOR TO ENSURE ALL ROOFTOP PENETRATIONS (EQUIP. SOIL STACKS, ETC.) ARE INSTALLED MIN. 2'-0" FROM OTHER DECK PENETRATIONS, RISE WALLS, AND ROOF EDGE.
- THROUGH-WALL BASE FLASHING MIN. HEIGHT 10" AND MAX. HEIGHT 20" FROM FINISH DECK. DO NOT STEP THROUGH WALL FLASHING CLOSER THAN 5'-0" FROM CORNERS.
- UPON SUBSTANTIAL COMPLETION THE GENERAL CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE. FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- FIELD VERIFY SIZE AND LOCATION OF ALL EXISTING MECHANICAL UNITS, ROOF CURBS, ROOF DRAINS, SCUPPERS, SKYLIGHTS AS WELL AS ANY AND ALL OTHER PENETRATIONS ON ROOF ACCESSORIES AND INSTALL NEW ROOF AS REQUIRED TO ACCOMMODATE ACCESSORIES AND CREATE A WATER TIGHT SEAL OVER ENTIRE ROOF.
- COORDINATION OF EXISTING BUILDING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO COMMENCEMENT OF THE ROOFING REPLACEMENT. IF ANY SERVICE TO THE EXISTING BUILDING IS REQUIRED TO BE TURNED OFF BY THE CONTRACTOR, THE SHUT-OFF MUST BE SCHEDULED IN ADVANCE WITH THE HAGERSTOWN HOUSING AUTHORITY MAINTENANCE DEPARTMENT AND ADMINISTRATION.

GENERAL ARCHITECTURAL NOTES

- CONSULTANT'S SHEETS ARE SUPPLEMENTAL TO THE ARCHITECTURAL SHEETS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CROSS CHECK WITH THE ARCHITECTURAL SHEETS PRIOR TO THE ORDERING/INSTALLATION OF ANY OF THE MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL AND SITE WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND THE CONSULTING ENGINEERS SHEET SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION FOR IMMEDIATE CLARIFICATION.
- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE.
- THE GENERAL CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT ALL WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION AND/OR INSTALLATION METHODS, MEANS, TECHNIQUES, SEQUENCES, PROCEDURES AND COORDINATION OF ALL PORTIONS OF THE REQUIRED WORK.
- FOR CUTTING AND PATCHING WHERE EXISTING CONDITION ARE TO BE CUT OR DISTURBED TO PERMIT INSTALLATION OF NEW WORK, PATCH ANY DISTURBED CONSTRUCTION TO MATCH THE ORIGINAL CONSTRUCTION AND FINISH.
- ANY CONFLICT OR DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD CONDITIONS SHOULD BE BROUGHT TO ARCHITECT'S ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WITH WORK.



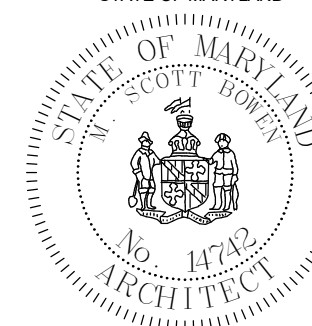
1655 Imperial Drive, Suite 208
Hagerstown, MD 21740

Phone: 301.791.7935

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HAGERSTOWN, MD 21740

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LICENSE NUMBER: 14742

EXPIRATION DATE: 8/24/2020

PHASE:

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DATE: May 29, 2019 SCALE: AS NOTED

DRAWING NAME:
ROOF PLAN

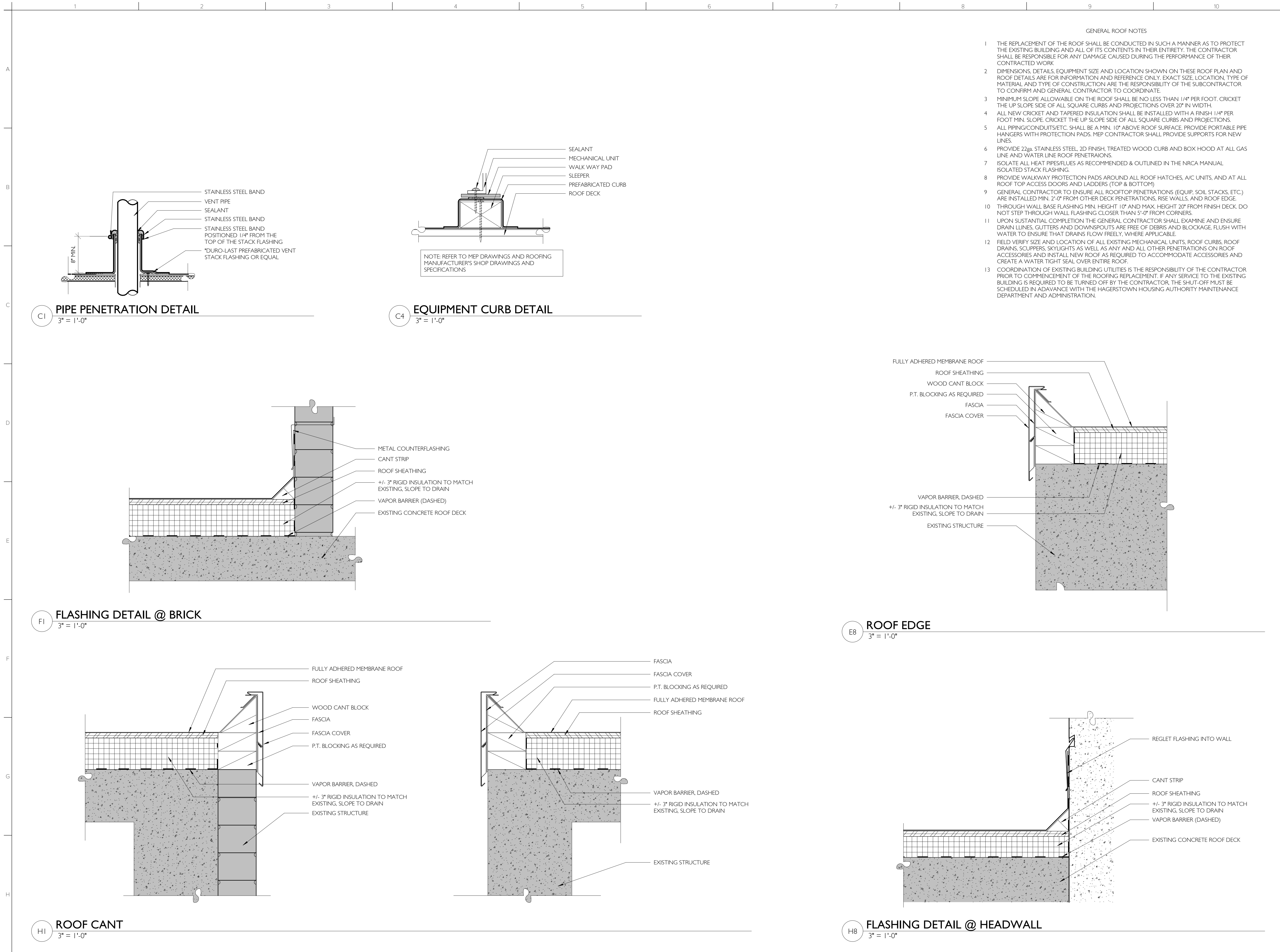
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ARCHITECTS

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Phone: 301.791.7935

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DETAILS

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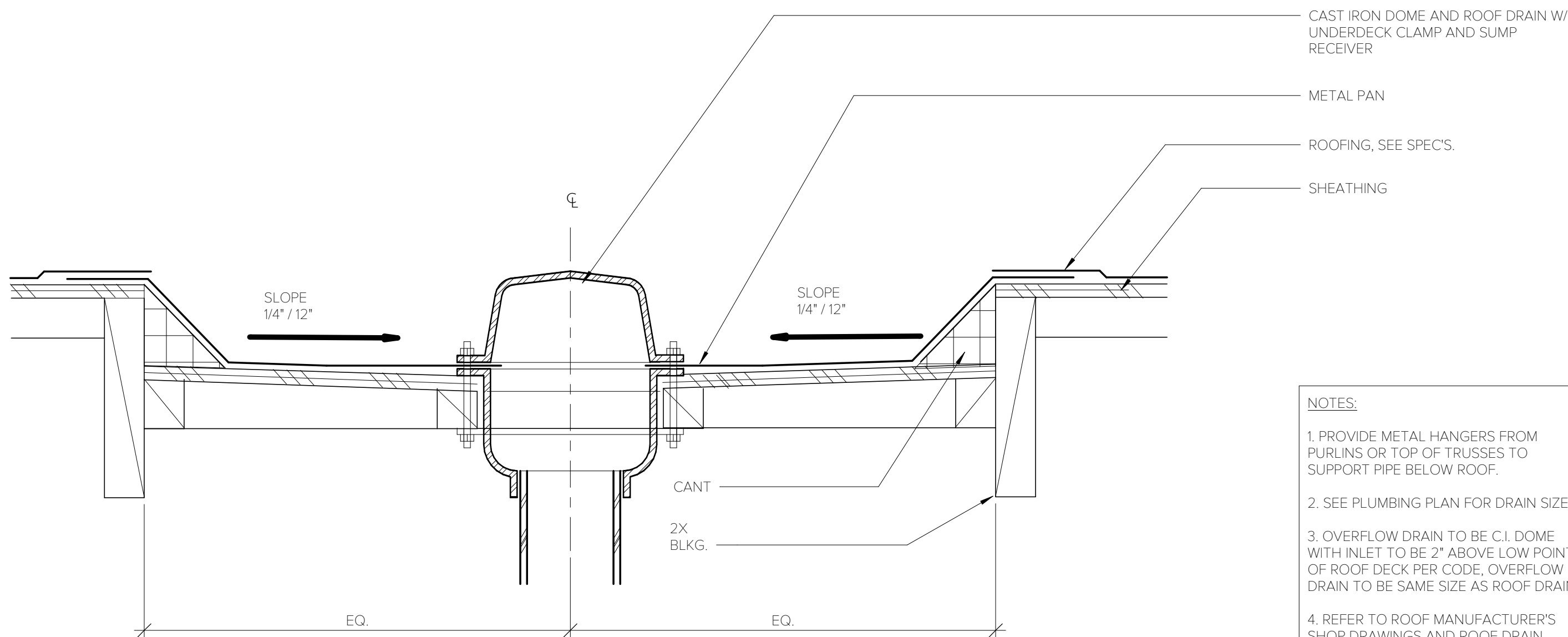
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POTOMAC TOWERS - ROOF
REPLACEMENT

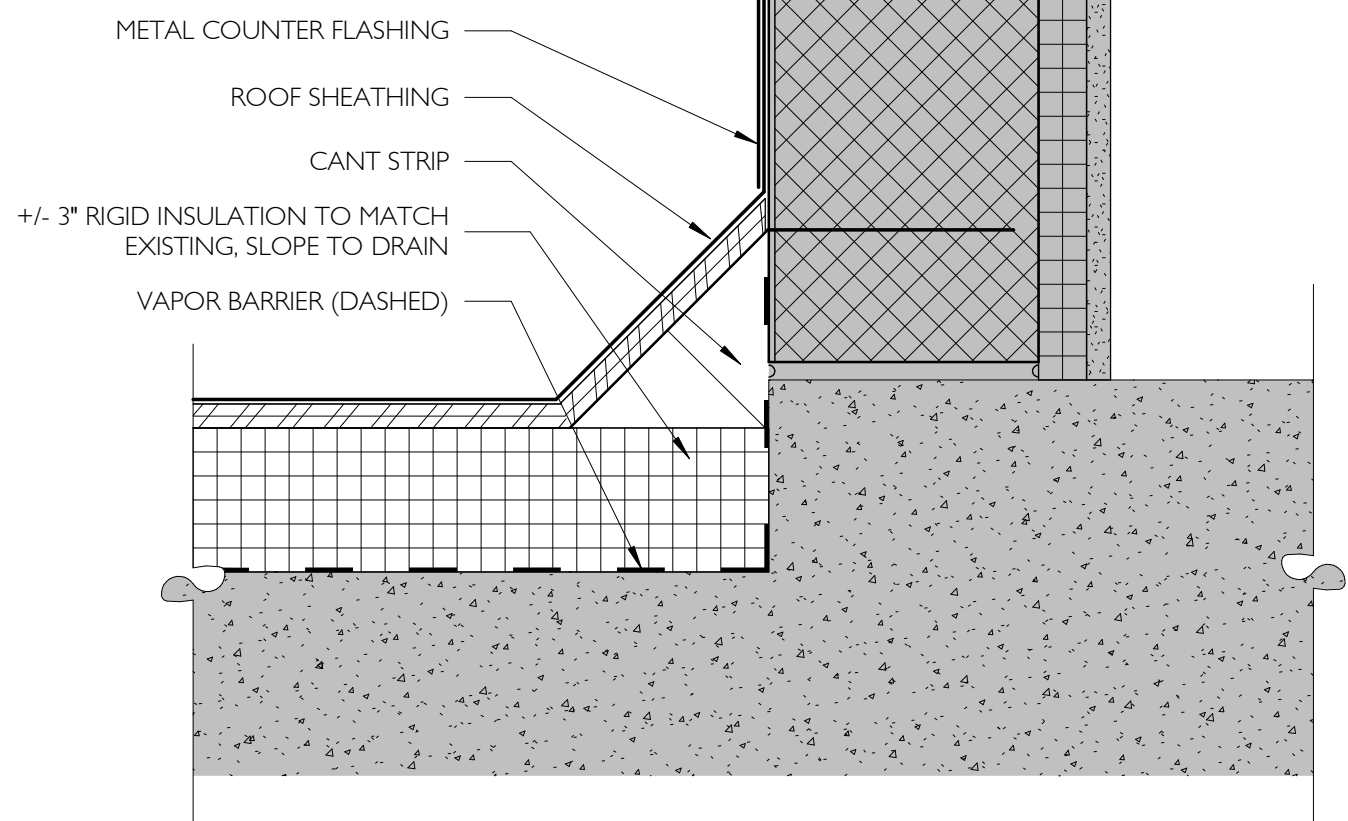
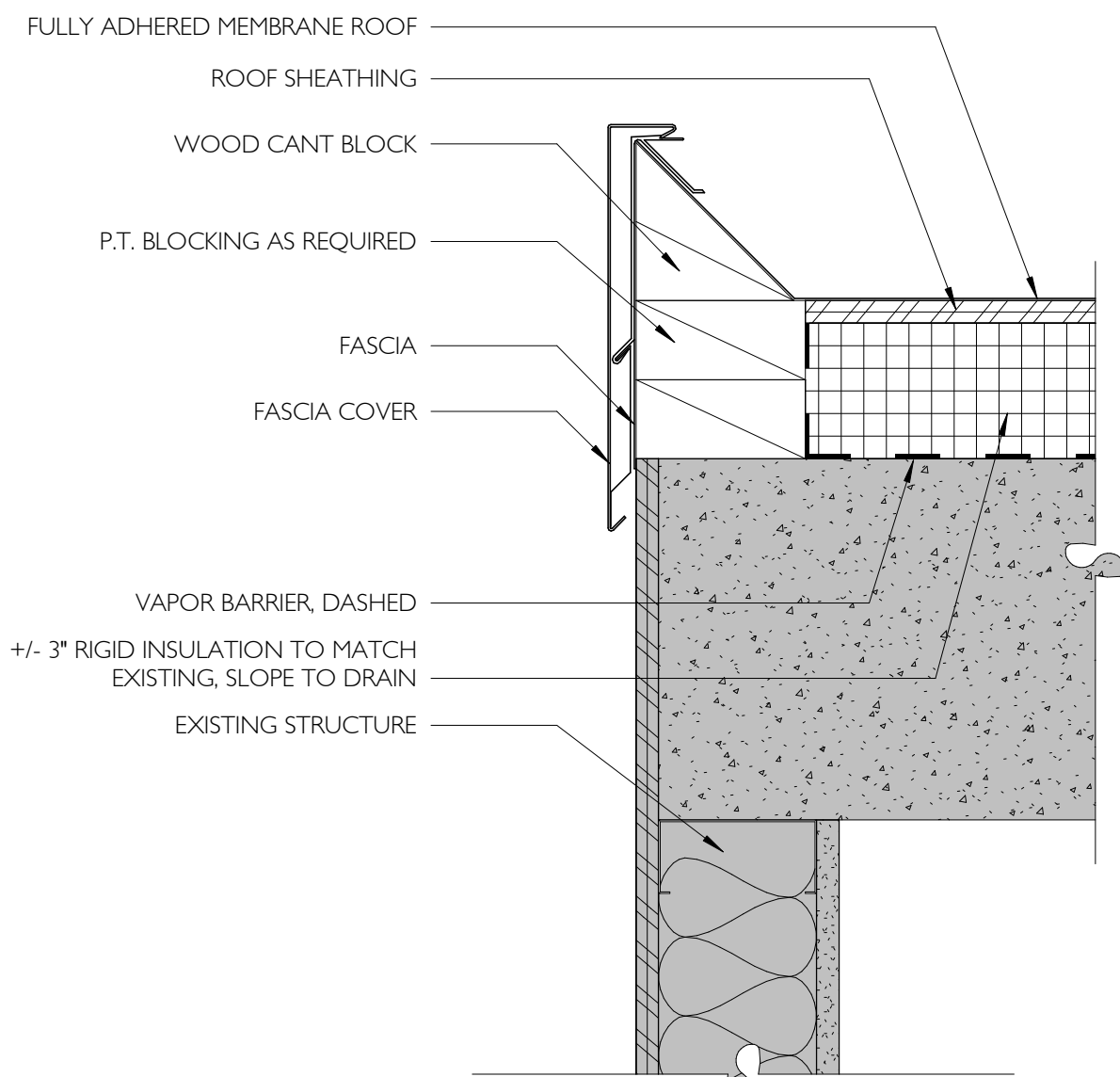
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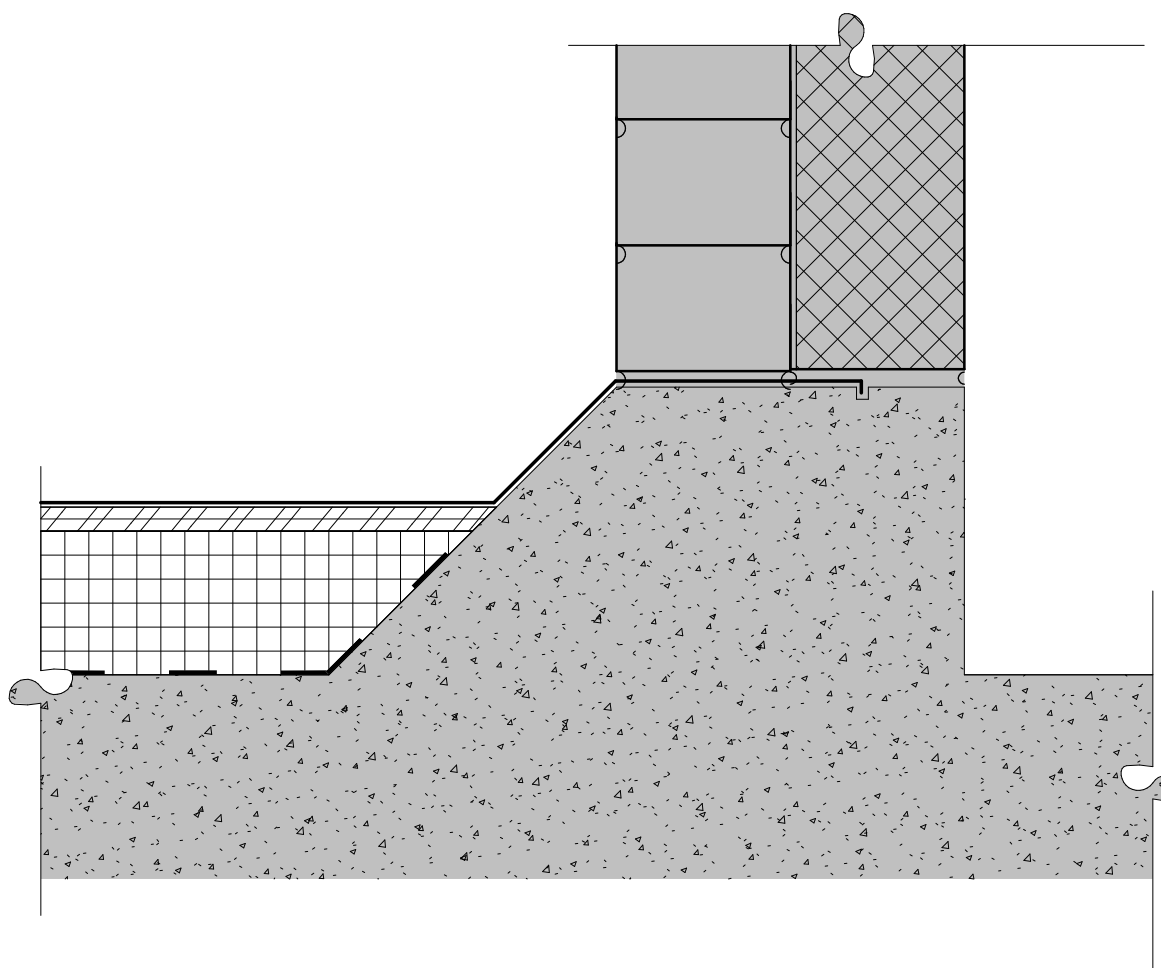
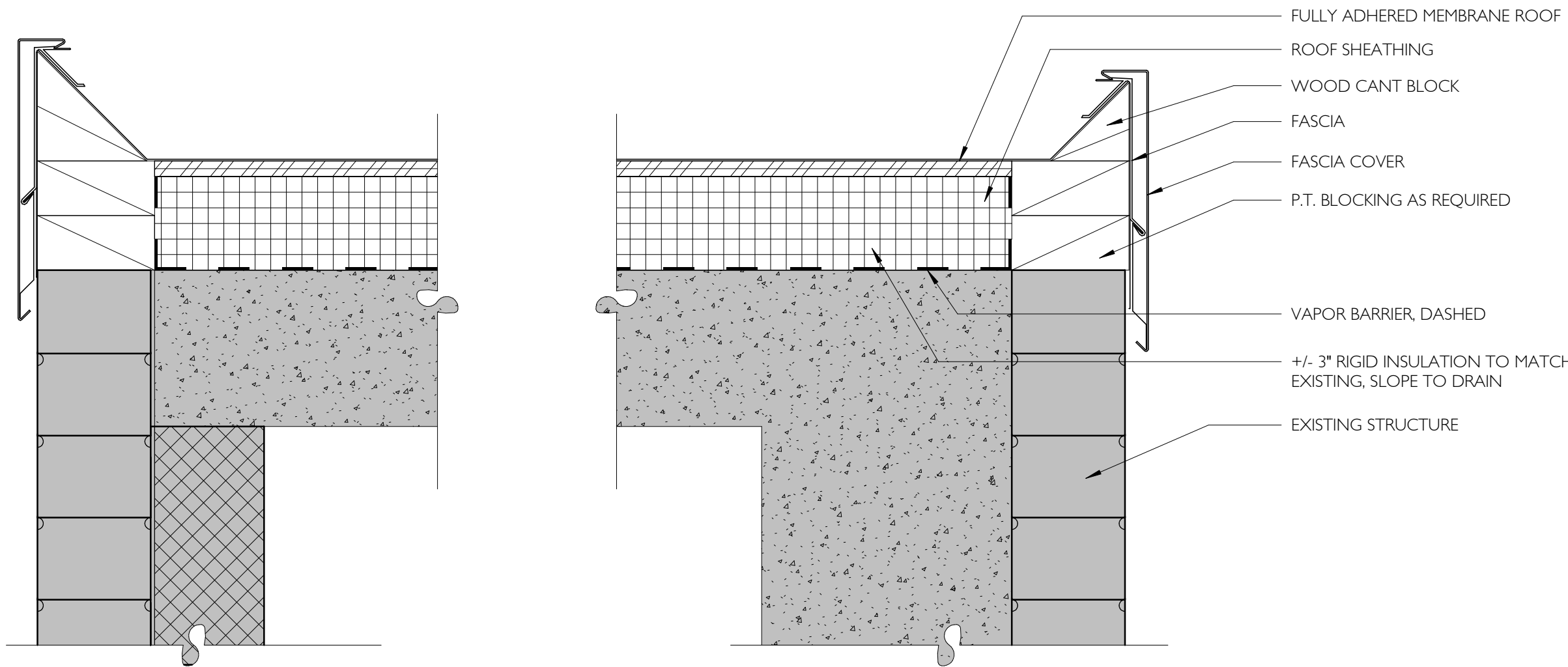
1. PROVIDE METAL HANGERS FROM PURLINS OR TOP OF TRUSSES TO SUPPORT PIPE BELOW ROOF.
2. SEE PLUMBING PLAN FOR DRAIN SIZE.
3. OVERFLOW DRAIN TO BE C.I. DOME WITH INLET TO BE 2" ABOVE LOW POINT OF ROOF DECK PER CODE, OVERFLOW DRAIN TO BE SAME SIZE AS ROOF DRAIN.
4. REFER TO ROOF MANUFACTURER'S SHOP DRAWINGS AND ROOF DRAIN MANUFACTURER'S SPECIFICATIONS.



B6 ROOF DRAIN WITH OVERFLOW DETAIL
3" = 1'-0"



H1 SECTION THROUGH PENTHOUSE LAUNDRY ROOM
3" = 1'-0"



H6 STAIR TOWER DETAIL
3" = 1'-0"

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