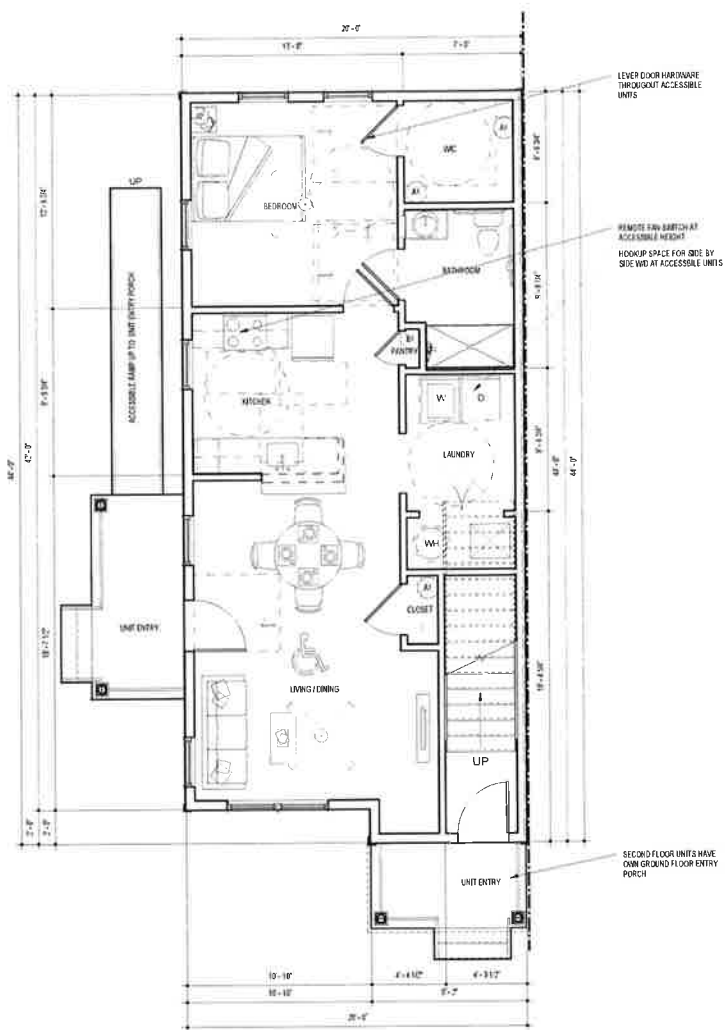




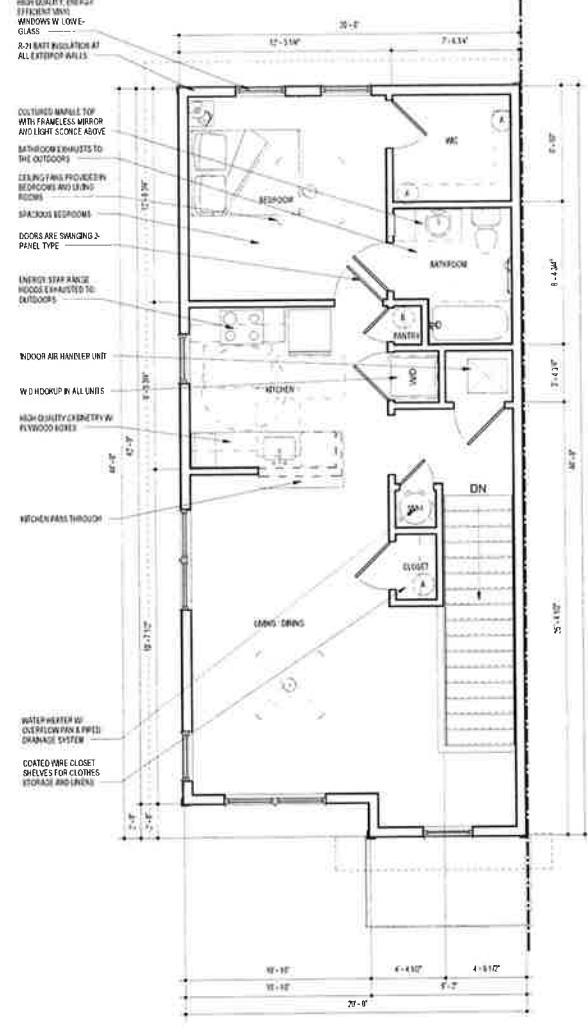
UNITS A1 & A2 - REAR

1/4" = 1'-0"



F9 FIRST FLOOR PLAN - UNIT A1

1/4" = 1'-0"



F4 SECOND FLOOR PLAN - UNIT A2

1/4" = 1'-0"

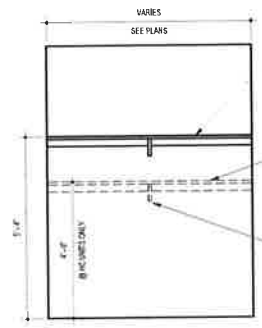


UNITS A1 & A2 - END

1/4" = 1'-0"

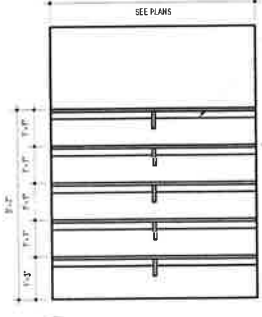
UNITS A1 & A2 - FRONT

1/4" = 1'-0"



A TYPICAL UNIT CLOSET, ONE ROW ONE SHELF

A1 HANDICAPPED UNIT CLOSET, ROD @ SHELF 4'-0" A.F.F.



B TYPICAL UNIT CLOSET, ALL SHELVES AS SHOWN

B1 HANDICAPPED UNIT CLOSET, TOP SHELF 5'-0" A.F.F.

DATE	REVISION	#

UNITS A1 & A2 - PLANS AND ELEVATIONS
 MCLEARY HILL DEVELOPMENT - PHASE I
 HAGERSTOWN, MARYLAND

DATE	REVISION	#

1.1
 10/26/2016
 CDA SUBMISSION

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 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED ARCHITECT IN THE STATE OF MARYLAND, LICENSE NUMBER: 1601 EXPIRATION DATE: 12/31/17

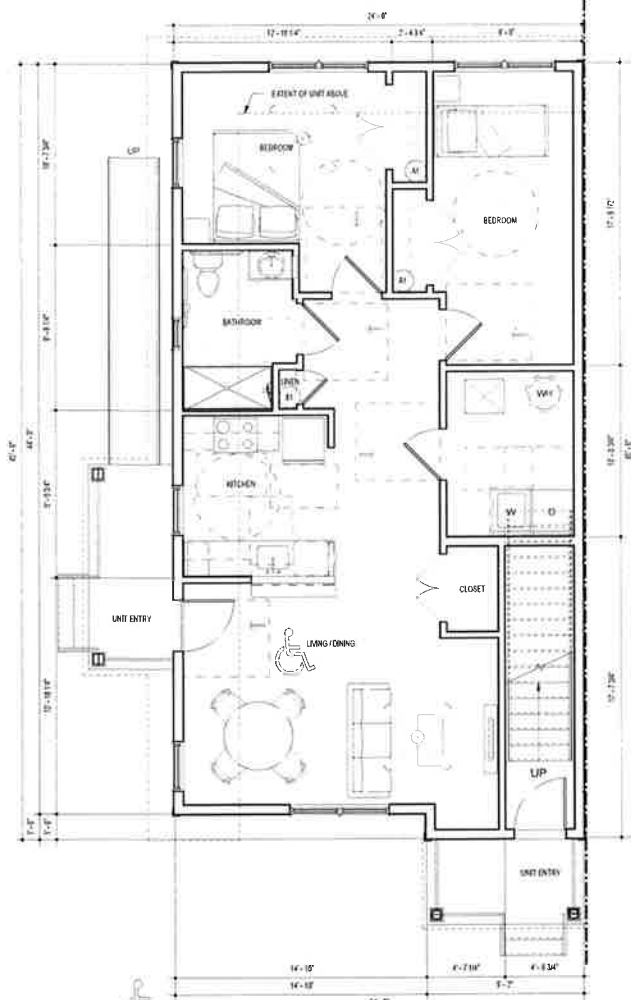
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 Baltimore, MD 21205
 Tel: 301.955.1000
 www.grimmandparker.com



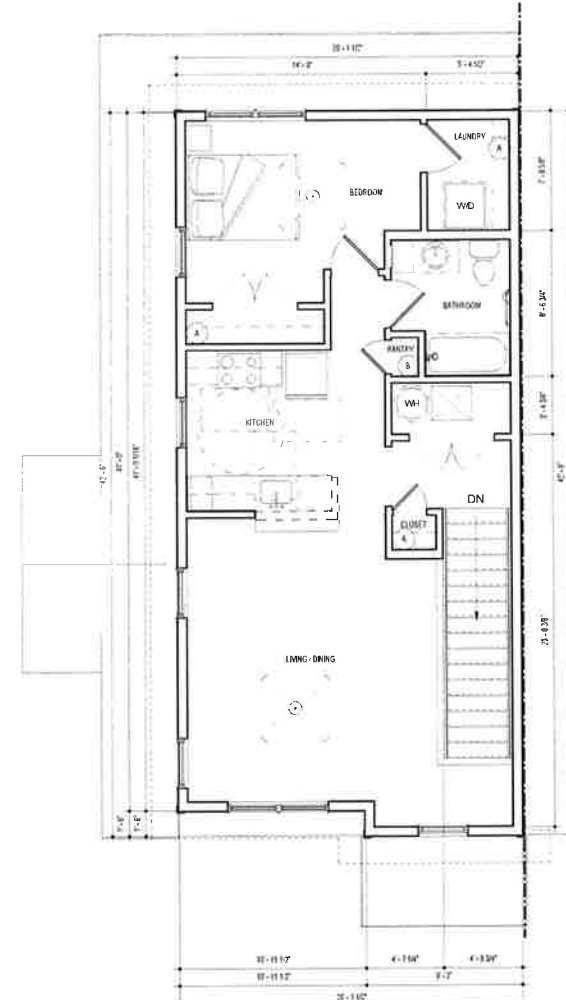
GP #21647



1 UNIT B REAR
1/8" = 1'-0"



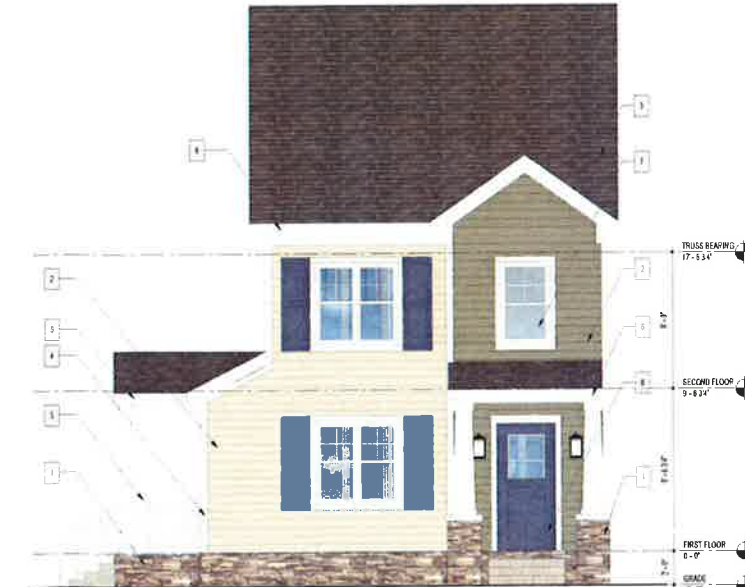
F9 FIRST FLOOR PLAN - UNIT B1
1/8" = 1'-0"



F4 SECOND FLOOR PLAN - UNIT B2
1/8" = 1'-0"



2 UNIT B SIDE/END
1/8" = 1'-0"



3 UNIT B FRONT
1/8" = 1'-0"

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I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALY LICENSED ARCHITECT IN THE STATE OF MARYLAND, LICENSE NUMBER 5861, EXPIRATION DATE 12/31/17.

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GRIMM AND PARKER

GP #21647

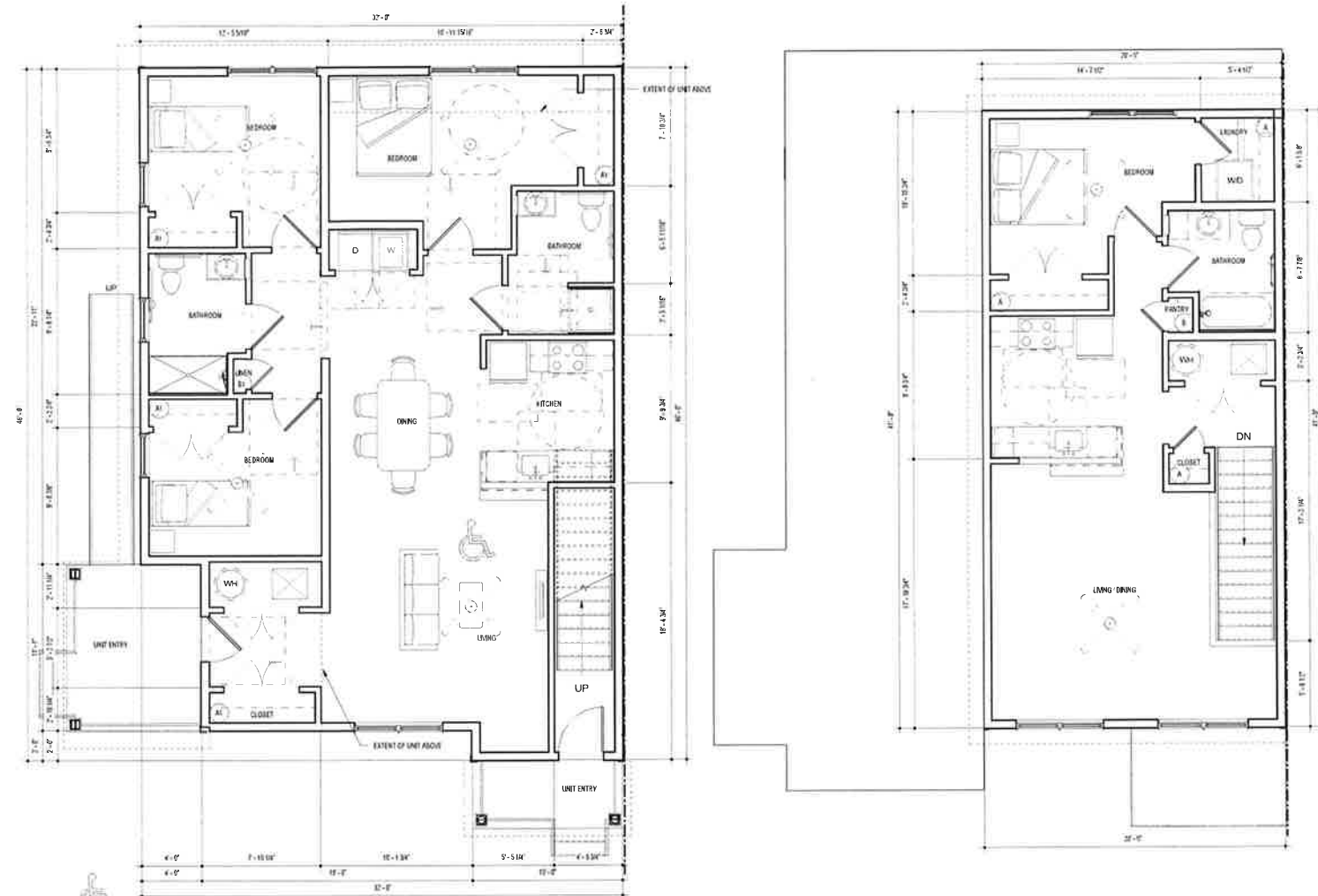
UNITS B1 & B2 - PLANS AND ELEVATIONS
MCCLARY HILL DEVELOPMENT - PHASE I
HAGERSTOWN, MARYLAND

DATE	REVISION	#

1.2
10/28/2015
CDA SUBMISSION
GIMMHP.FLD



F17 UNIT C1&C2 REAR
1/4" = 1'-0"



F11 FIRST FLOOR PLAN - UNIT C1
1/4" = 1'-0"

UNIT DESIGNED TO UFAS ACCESSIBILITY STANDARDS

F4 SECOND FLOOR PLAN - UNIT C2
1/4" = 1'-0"



A17 UNIT C1&C2 END
1/4" = 1'-0"



A8 UNIT C1&C2 FRONT
1/4" = 1'-0"

PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALY LICENSED ARCHITECT IN THE STATE OF MARYLAND. LICENSE NUMBER 5491. EXPIRATION DATE 12/31/27.

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GP #21647

UNITS C1 & C2 - PLANS AND ELEVATIONS
MCCLEARY HILL DEVELOPMENT - PHASE I
HAGERSTOWN, MARYLAND

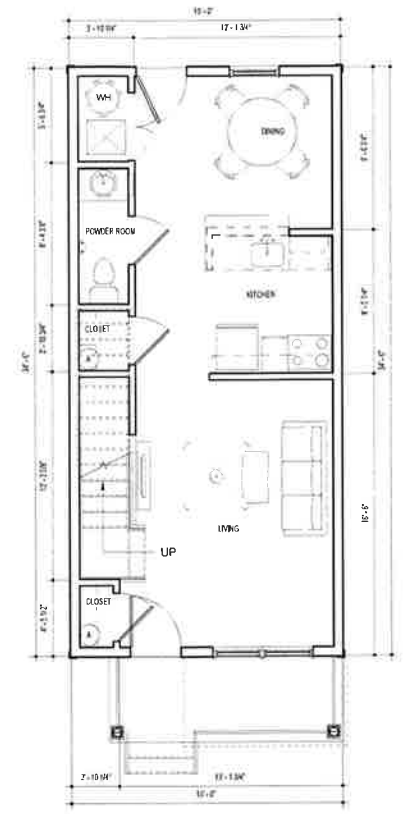
DATE	REVISION

- ELEVATION KEY
- 1 CULTURED STONE
 - 2 VINYL SIDING
 - 3 ASPHALT SHINGLES
 - 4 CORNER BRICKS
 - 5 STEEL RAILINGS
 - 6 FIBRA-Crete
 - 7 ENERGY STAR VINYL WINDOW SYSTEM
 - 8 PAINTED METAL EXTERIOR
 - 9 METAL STANDING SEAM ROOF

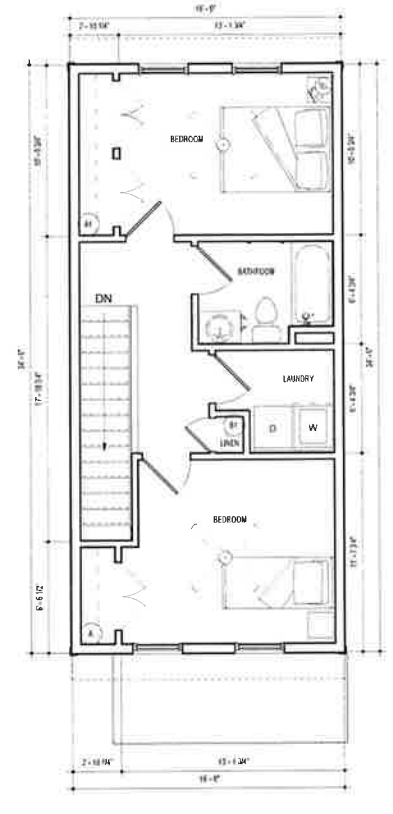
1.3
10/28/2015
CDA SUBMISSION

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

M L K J H G F E D C B A



G10 FIRST FLOOR PLAN - UNIT D
1/4" = 1'-0"



G5 SECOND FLOOR PLAN - UNIT D
1/4" = 1'-0"



UNIT D - REAR
1/4" = 1'-0" COLOR SCHEME 3

UNIT D - FRONT ALTERNATE
1/4" = 1'-0" COLOR SCHEME 2

UNIT D - FRONT
1/4" = 1'-0" COLOR SCHEME 1

PROFESSIONAL CERTIFICATION
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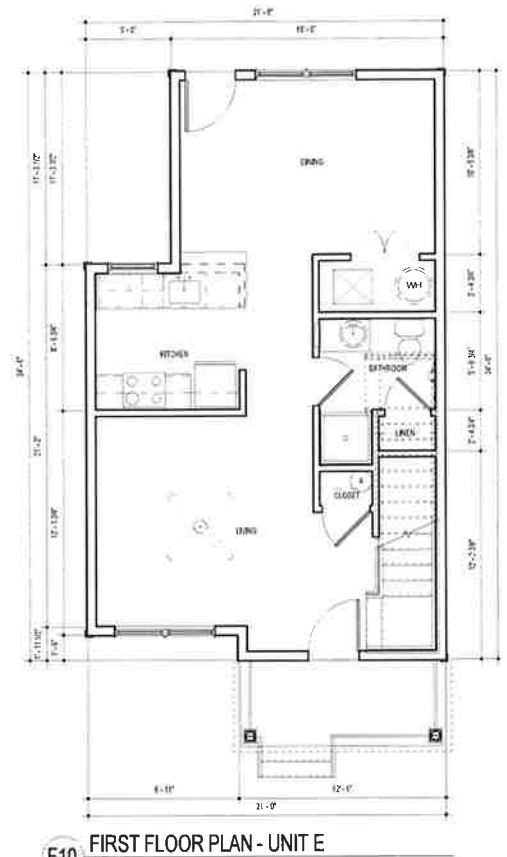
UNIT D - PLANS AND ELEVATIONS
MCCLARY HILL DEVELOPMENT - PHASE I
HAGERSTOWN, MARYLAND

DATE	REVISION	#

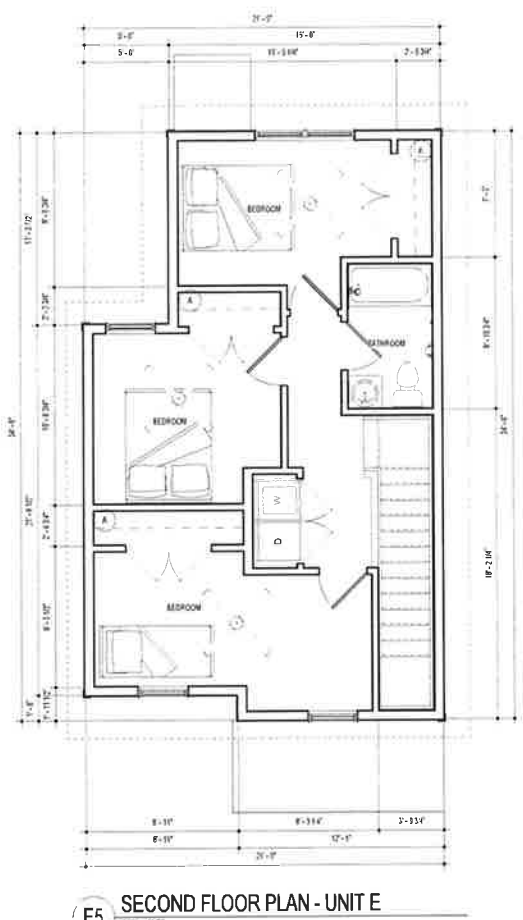
- ELEVATION KEY
- 1 C/A TRUSS CLING
 - 2 VINYL SIDING
 - 3 BRICK
 - 4 CORNFORSAMS
 - 5 STEEL FRAMING
 - 6 FASCIA
 - 7 ENERGY STAR VINYL WINDOW SYSTEM
 - 8 PAINTED METAL DOOR
 - 9 METAL STANDING SEAM ROOF

1.4
10/28/2015
CDA SUBMISSION

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1



F10 FIRST FLOOR PLAN - UNIT E
1/4" = 1'-0"



F5 SECOND FLOOR PLAN - UNIT E
1/4" = 1'-0"



A10 UNIT E FRONT
1/4" = 1'-0"



A6 UNIT E REAR
1/4" = 1'-0"

NOTE: CULTURED STONE WILL BE USED FOR FIN OF THE EXTERIOR CLADDING. AS USUAL PRACTICE, ELEVATION ISSUES WILL BE MADE OF THE FACIES OF EACH BUILDING TO DETERMINE THE BEST LOCATION FOR THE CULTURED STONE. AT A MINIMUM, IT WILL COVER A WATERTABLE COVERING THE FOUNDATION FROM WALL AND TO BALANCE. REFER TO THE TITLE SHEET FOR A REPRESENTATIVE GRAPHIC ELEVATION KEY.

1	CULTURED STONE
2	VINYL SIDING
3	ADHESIVE SHINGLES
4	CORNERBRACE
5	STEEL FRAMING
6	FLASH
7	ENERGY STAR VINYL BRIDGES SYSTEM
8	PAINTED METAL DOOR
9	METAL STAINLESS STEEL ROOF

PROFESSIONAL CERTIFICATION
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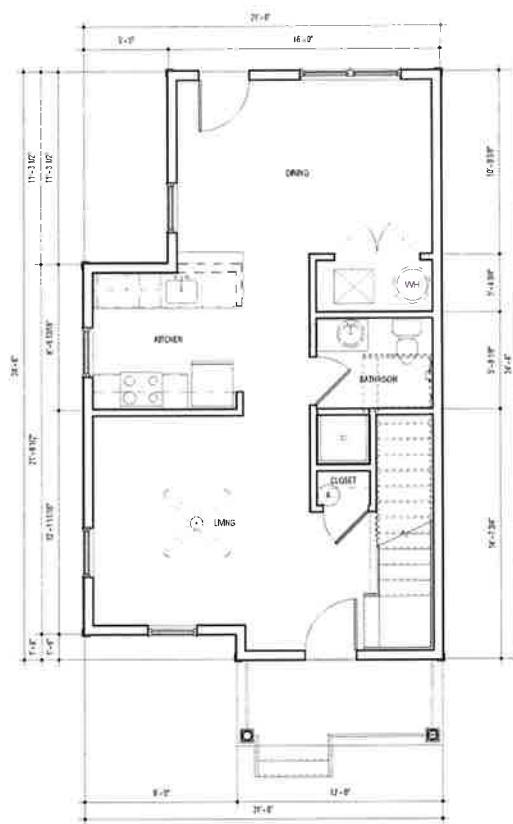


GP #21647

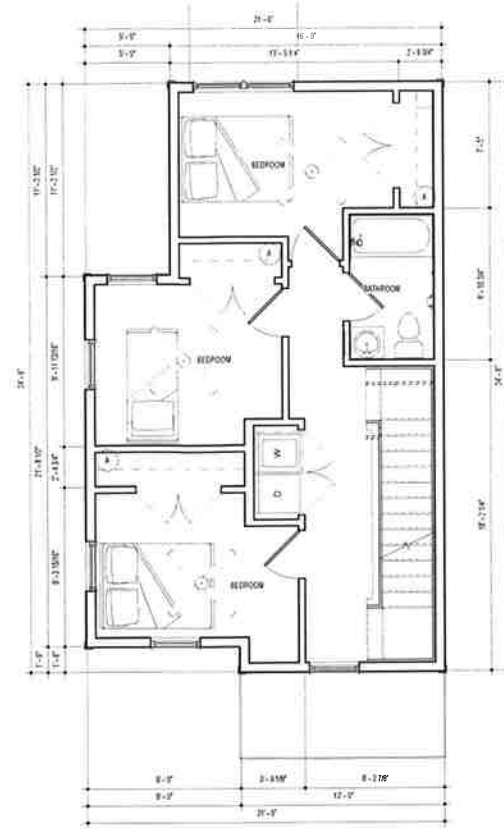
UNIT E - PLANS AND ELEVATIONS
MCCLEARY HILL DEVELOPMENT - PHASE I
HAGERSTOWN, MARYLAND

DATE	REVISION	#

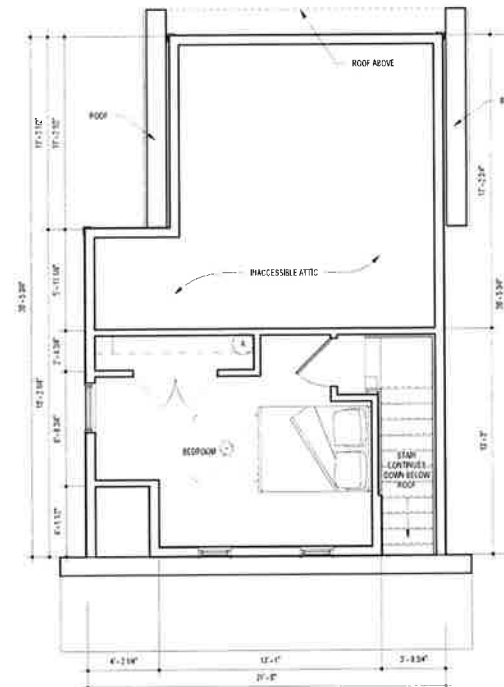
1.5
10/28/2018
CDA SUBMISSION



F14 FIRST FLOOR PLAN - UNIT F
1/8" = 1'-0"



F9 SECOND FLOOR PLAN - UNIT F
1/8" = 1'-0"



F5 THIRD FLOOR PLAN - UNIT F
1/8" = 1'-0"



A17 UNIT F REAR
1/8" = 1'-0"



A13 UNIT F - SIDE/END
1/8" = 1'-0"



A4 UNIT F FRONT
1/8" = 1'-0"

ELEVATION KEY

- 1. C/O BURD STONE
- 2. VINYL SIDING
- 3. ASPH/FLT SHINGLES
- 4. CORNERBOARDS
- 5. STEEL WALLS
- 6. FASCIA
- 7. ENERGY STAR VINYL WINDOW SYSTEM
- 8. PAINTED METAL DOOR
- 9. METAL STANDING SEAM ROOF

PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED ARCHITECT IN THE STATE OF MARYLAND. LICENSE NUMBER 3461. EXPIRATION DATE 10/31/11.

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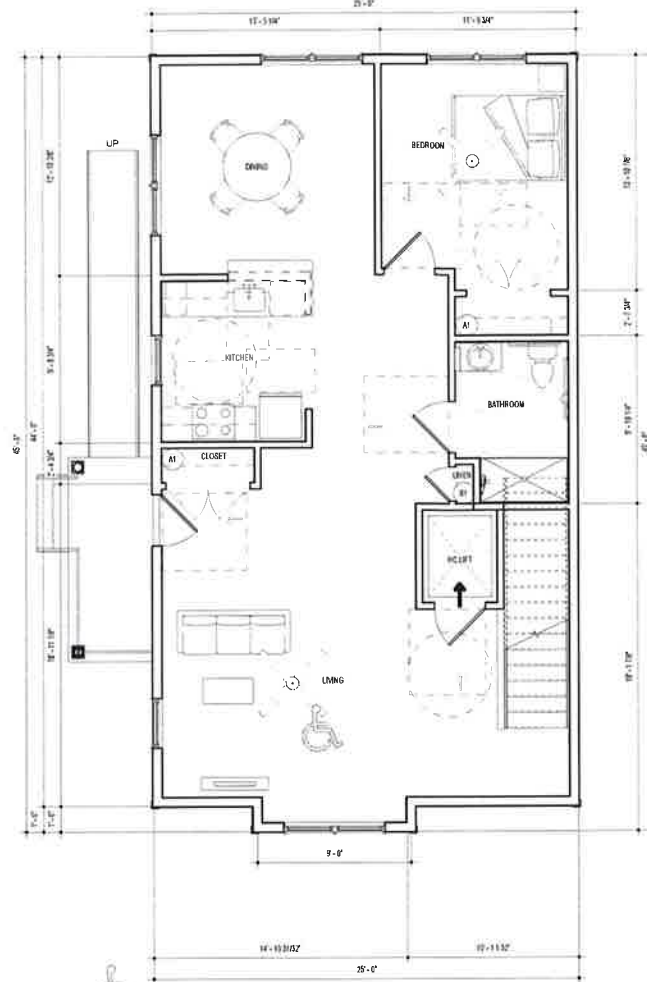


GP #21647

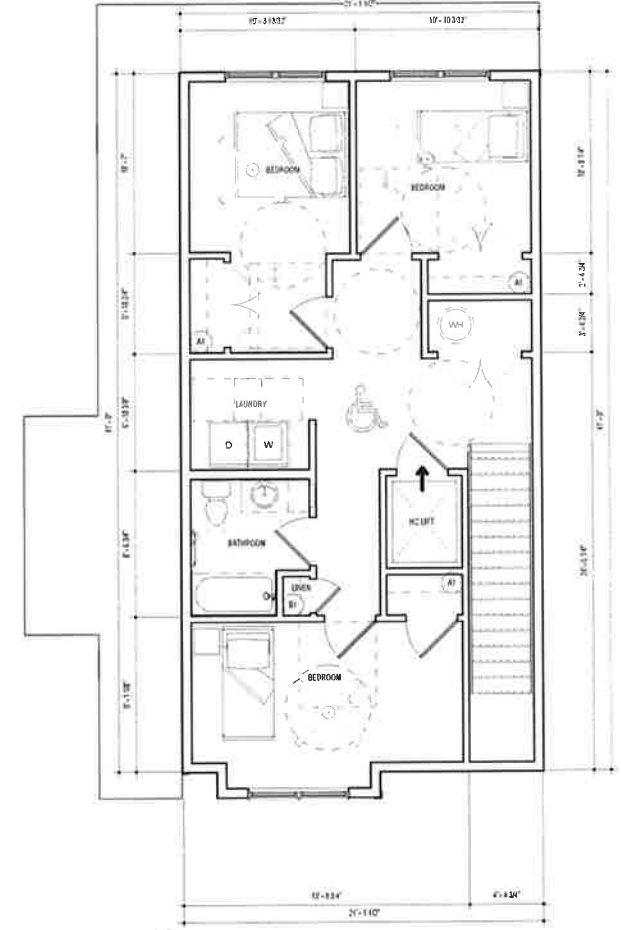
UNIT F - PLANS AND ELEVATIONS
McCLEARY HILL DEVELOPMENT - PHASE I
HAGERSTOWN, MARYLAND

DATE	REVISION

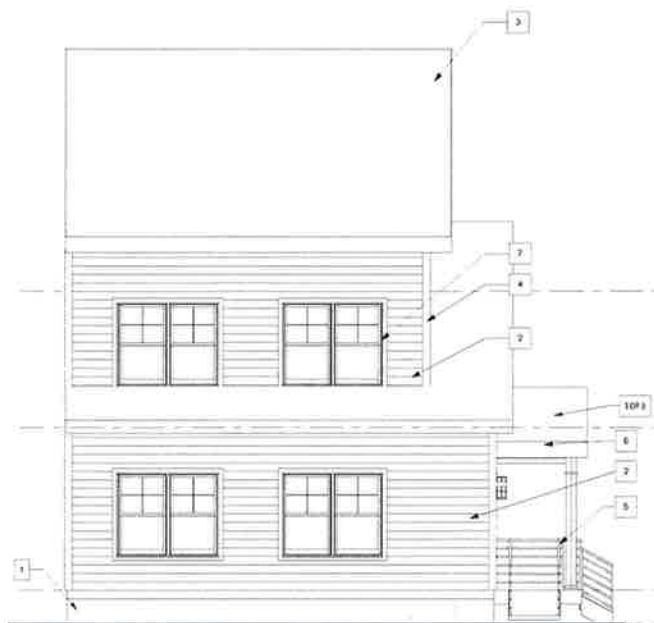
1.6
10/29/2016
CDA SUBMISSION



F11 FIRST FLOOR PLAN - UNIT G
 1/8" = 1'-0"
 UNIT DESIGNED TO UFAS ACCESSIBILITY STANDARDS



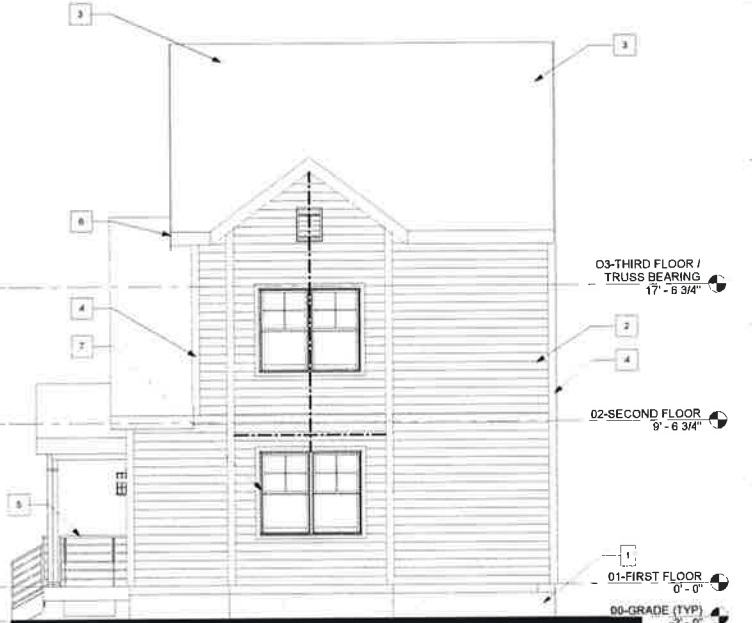
F6 SECOND FLOOR PLAN - UNIT G
 1/8" = 1'-0"
 UNIT DESIGNED TO UFAS ACCESSIBILITY STANDARDS



A18 UNIT G - REAR
 1/8" = 1'-0"



A13 UNIT G - SIDE/END
 1/8" = 1'-0"



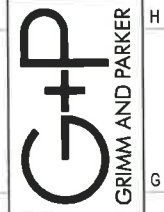
A6 UNIT G - FRONT
 1/8" = 1'-0"

03-THIRD FLOOR / TRUSS BEARING
 17'-6 3/4"
 02-SECOND FLOOR
 9'-6 3/4"
 01-FIRST FLOOR
 0'-0"
 00-GRADE (TYP)
 -2'-0"

- ELEVATION KEY**
- 1 COLOURED STONE
 - 2 VINYL SIDING
 - 3 ASPHALT SHINGLES
 - 4 CORNER BRICKS
 - 5 STEEL RAILING
 - 6 BRICK
 - 7 ENERGY STAR VINYL WINDOW SYSTEM
 - 8 PAINTED METAL DOOR
 - 9 METAL FINISHING GARAGE FLOOR

PROFESSIONAL CERTIFICATION
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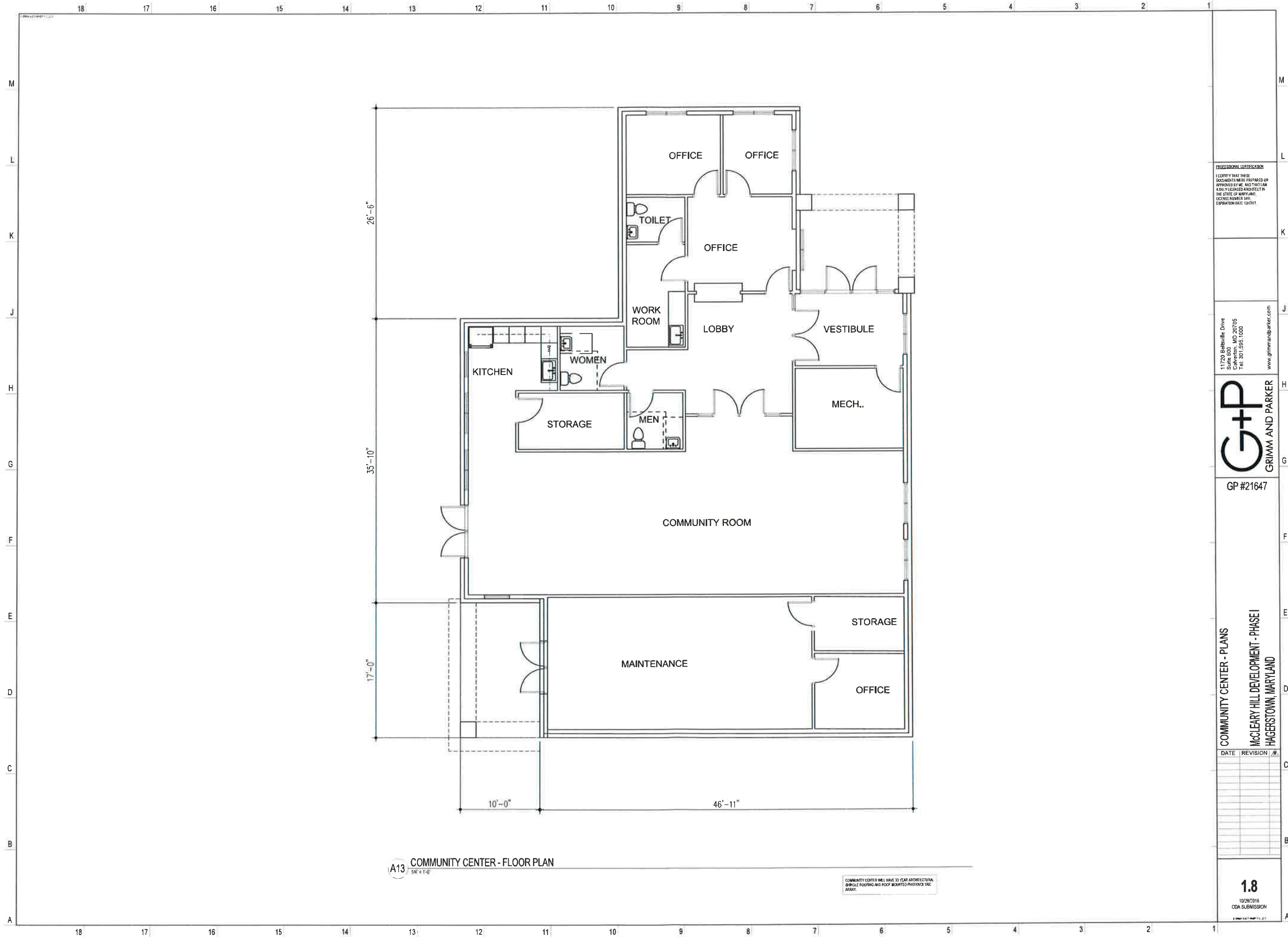


GP #21647

UNIT G - PLANS AND ELEVATIONS
 McCLARY HILL DEVELOPMENT - PHASE I
 HAGERSTOWN, MARYLAND

DATE	REVISION	#

1.7
 10/28/2016
 CDA SUBMISSION



A13 COMMUNITY CENTER - FLOOR PLAN
1/8\"/>

COMMUNITY CENTER WILL HAVE 10 YEAR ARCHITECTURAL SINGLE ROOFING AND ROOF MOUNTED PHOTOVOLTAIC ARRAY.

PROFESSIONAL CERTIFICATION
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COMMUNITY CENTER - PLANS
McCLEARY HILL DEVELOPMENT - PHASE I
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