

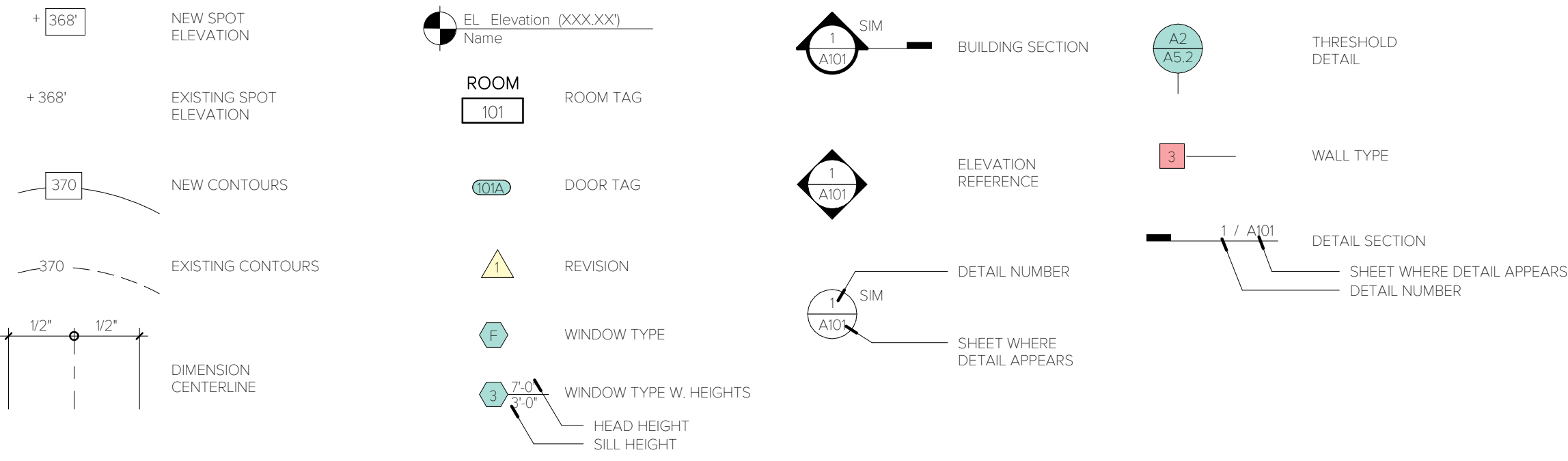
CONSTRUCTION DOCUMENTS PREPARED FOR:

# POTOMAC TOWER BALCONY DOOR REPLACEMENT

LOCATED AT:  
11 W BALTIMORE ST.  
HAGERSTOWN, MD 21740

ISSUED ON:  
February 6, 2024

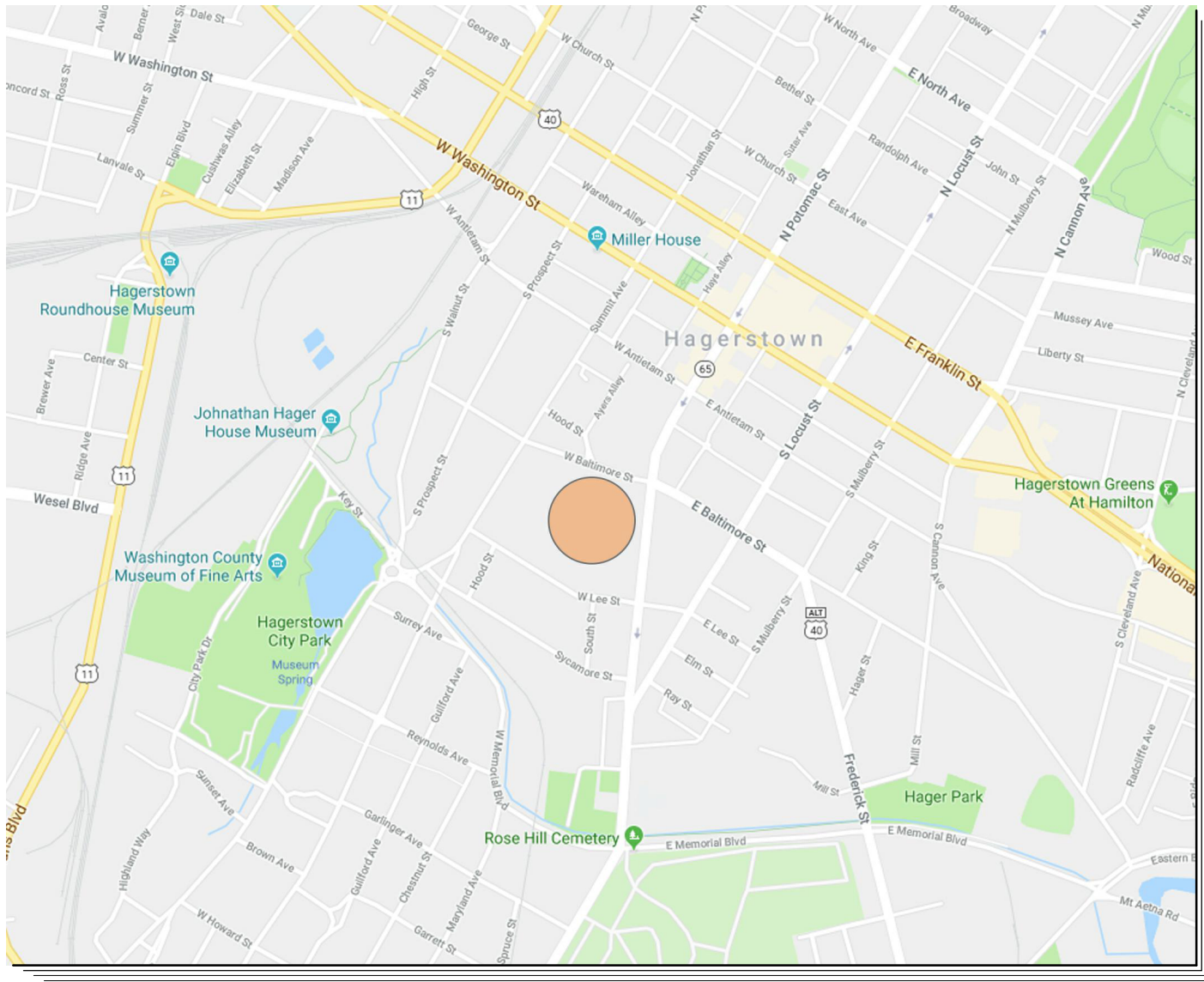
## SYMBOLS



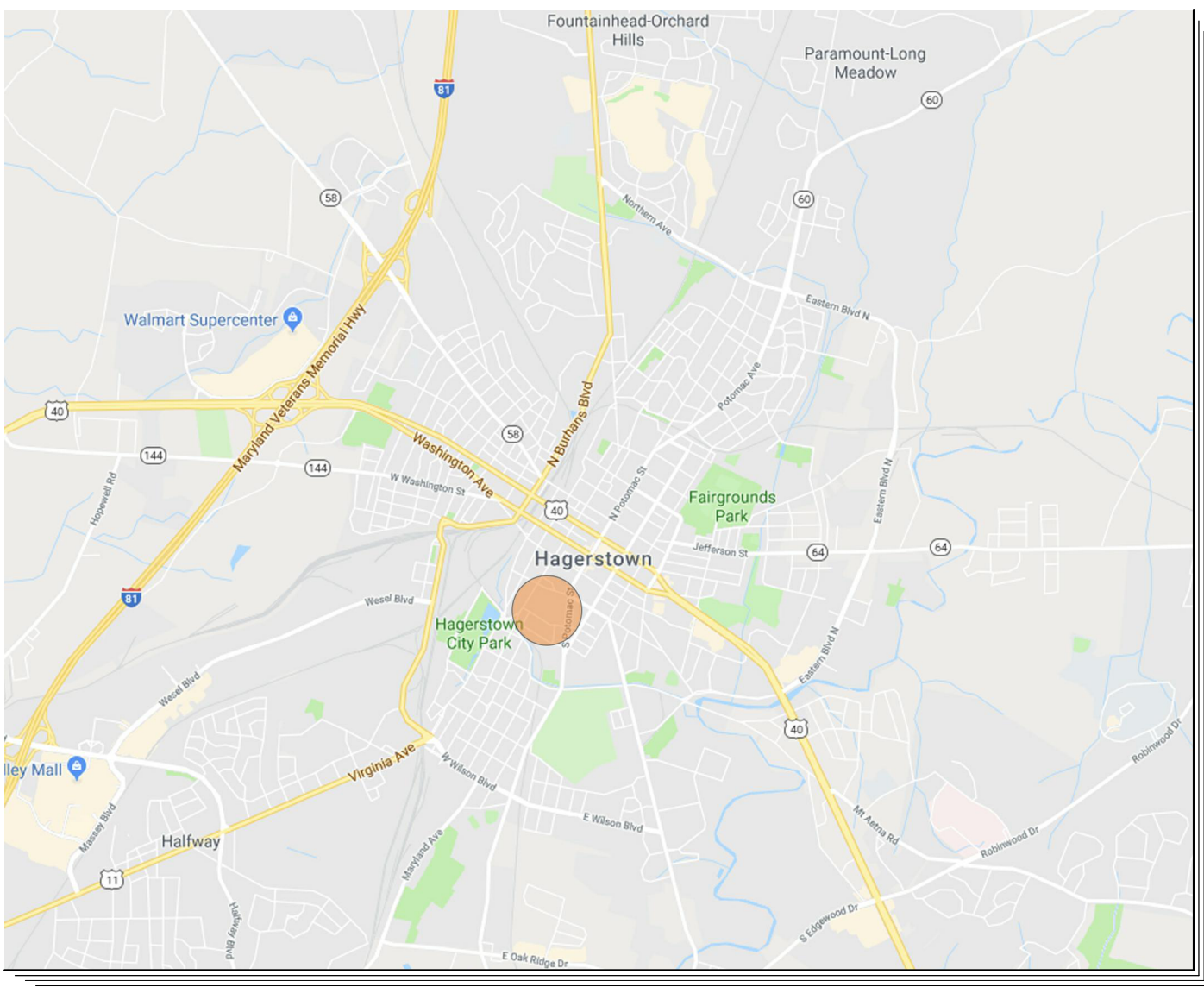
## GENERAL CODES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- WHERE THERE IS A CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION. PRIOR TO CONSTRUCTION, IF CONTRACTOR PROCEEDS WITHOUT NOTIFICATION, THE COST OF MODIFICATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CODES: ALL WORK ON THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:  
A. CURRENT INTERNATIONAL BUILDING CODE  
B. CURRENT INTERNATIONAL MECHANICAL CODE  
C. CURRENT INTERNATIONAL ELECTRICAL CODE AS APPLICABLE  
D. CURRENT NFPA LIFE SAFETY CODES  
E. APPLICABLE CITY/STATE PLUMBING CODES  
F. CURRENT STATE FIRE CODES  
G. COMPLIANCE WITH AMERICAN WITH DISABILITIES ACT (ADA)
- PERMITS: OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING PERMITS. THE PERMIT FEES AND THE COSTS OF PROCURING SAME SHALL BE BORNE ENTIRELY BY OWNER. THE PROJECT'S GENERAL CONTRACTOR (G.C.) WILL COORDINATE, SCHEDULE AND PAY FOR ALL REQUIRED SUBCONTRACTOR PERMITS & INSPECTIONS.
- EXISTING CONDITIONS: THE G.C. SHALL VERIFY ALL EXISTING CONDITIONS AND DETERMINE THEIR EFFECT ON THE DESIGN PROPOSAL AS SHOWN HEREIN. CARE SHALL BE TAKEN TO AVOID ANY INTERRUPTIONS TO THE NORMAL BUSINESS ACTIVITIES OF THE EXISTING TENANTS TO THE ADJACENT BUILDING.
- INTERIOR FINISHES: FINISHES OF FLOORS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING OF 26-75 OR LESS AND A SMOKE DEVELOPED RATING OF 0-450 PER NFPA 101. G.C. TO SUBMIT CONFIRMATION INFORMATION ON ALL FLAME SPREAD RATINGS AS REQUIRED.
- LIFE SAFETY ITEMS: THE G.C. SHALL BE RESPONSIBLE FOR THE REVIEW, COORDINATION, AND INSTALLATION OF REQUIRED LIFE SAFETY EQUIPMENT INCLUDING, BUT NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTS, AND FIRE EXTINGUISHER CABINETS/FIRE EXTINGUISHERS. ADDITIONALLY, EGRESS PATHS SHALL BE REVIEWED WITH APPROPRIATE FIRE DEPARTMENT PERSONNEL AND SHALL BE COORDINATED WITH FURNITURE & PARTITIONS.
- WORKMANSHIP STANDARDS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, AND ALL OTHER RESOURCES REQUIRED TO COMPLETE THE PROJECT. ALL WORK SHALL BE PERFORMED IN A SAFE AND EXPEDITIOUS MANNER USING THE RECOMMENDED TOOLS IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE APPROPRIATE TRADE. THE BUILDING SITE SHALL BE KEPT CLEAN AND FREE OF DEBRIS AT ALL TIMES. CARE SHALL BE TAKEN TO PREVENT TRASH FROM BEING BLOWN ONTO AND ACCUMULATING ON ADJACENT PROPERTIES AND PUBLIC STREETS.
- PROJECT DELIVERY: THE PROJECT G.C. SHALL ARRANGE AND EXECUTE ALL FINAL INSPECTIONS AND PROCURE A CERTIFICATE FOR OCCUPANCY. ADDITIONALLY, THE G.C. SHALL DELIVER INTERIORS FREE OF MARKS, FINGERPRINTS, STAINS, DIRT AND DEBRIS. LIGHT FIXTURES, PLUMBING FIXTURES, EQUIPMENT, GLASS AND HARDWARE WILL BE CLEAN AND DUST FREE. SITE SHALL BE CLEANED AND FREE OF EXTRANEOUS DEBRIS PRIOR TO ACCEPTANCE. G.C. SHALL RESTORE LAWNS AND PATCH ANY PAVING DAMAGED DURING CONSTRUCTION.
- EGRESS DOORS SHALL BE OPERABLE FROM THE DIRECTION OF EXIT TRAVEL WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- IN CONSTRUCTION TYPES 1 & 2, THE CONTRACTOR SHALL PROVIDE FIRE TREATED WOOD WHEREVER WOOD IS CALLED FOR IN THE DRAWINGS.
- ALL CONTRACTORS ARE REQUIRED TO REVIEW ALL DRAWINGS REGARDLESS OF DISCIPLINE AND SHALL BE HELD RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER DISCIPLINES.
- IF ANY CONFLICTS ARE FOUND ON THE DRAWINGS OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR IS RESPONSIBLE FOR PRICING THE MOST EXPENSIVE OF THE CONFLICTING PRODUCTS/ASSEMBLY/SYSTEM.
- THE G.C. IS RESPONSIBLE FOR ANY TEMPORARY SHORING REQUIRED TO PERFORM WORK. ALL SHORING SHALL BE ENGINEERED BY AN ENGINEER LICENSED IN THE STATE WHERE THE WORK IS BEING PERFORMED. SUBMIT ENGINEER SIGNED/SEALED DRAWINGS FOR REVIEW.
- APPLICABLE TO ALL DRAWINGS - ITEMS & CONDITIONS DETAILED, NOTED, OR OTHERWISE IDENTIFIED ON ONE OF THE SECTIONS OR DETAILS ARE APPLICABLE AND BINDING TO ALL OTHER SECTIONS AND DETAILS FOR IDENTICAL OR SIMILAR CONDITIONS
- CONTRACTOR SHALL CONFORM IN STRICT ADHERENCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE OWNER PURCHASE OF FURNISHINGS.

## MAPS



LOCATION MAP



VICINITY MAP

## ABBREVIATIONS

A/C	AIR CONDITIONING	ELEV	ELEVATION	INT	INTERIOR	REV	REVISION
ACT	ACOUSTICAL CEILING TILE	EMER	EMERGENCY	JAN	JANITOR'S CLOSET	RM	ROOM
AWP	ACOUSTICAL WALL PANEL	EQ	EQUAL	JT	JOINT	RO	ROUGH OPENING
AFF	ABOVE FINISHED FLOOR	EQPT	EQUIPMENT	KIT	KITCHEN	RTG	RATING
ALT	ALTERNATE	EX	EXISTING	LAM	LAMINATE	S	SOUTH
ALUM	ALUMINUM	EXP	EXPOSED	LAV	LAVATORY	SC	SOLID CORE
ANOD	ANODIZED FINISH	EXT	EXTERIOR	MAX	MAXIMUM	SCH	SCHEDULE
APROX	APPROXIMATE	FD	FLOOR DRAIN	MECH	MECHANICAL	SF	SQUARE FOOT
ASPH	ASPHALT	FE	FIRE EXTINGUISHER	MTL	METAL	SHT	SHEET
BLDG	BUILDING	FEC	FIRE EXTINGUISHER CABINET	MFR	MANUFACTURER	SIM	SIMILAR
BRL	BUILDING RESTRICTION LINE	FIN	FINISH (ED)	MH	MANHOLE	SPEC	SPECIFICATIONS
CAB	CABINET	FLR	FLOOR	MIN	MINIMUM	SS	STAINLESS STEEL
CJ	CONTROL JOINT	FT	FEET/FOOT	MISC	MISCELLANEOUS	ST	STREET
CL	CENTER LINE	FTG	FOOTING	MO	MASONRY OPENING	STL	STEEL
CLG	CEILING	FURR	FURRING	MULL	MULLION	T&G	TONGUE & GROOVE
CLR	CLEAR	GA	GAUGE	N/A	NOT APPLICABLE	TEL	TELEPHONE
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	N	NORTH	TEMP	TEMPORARY
CNT	CONTINUOUS	GC	GENERAL CONTRACTOR	NIC	NOT IN CONTRACT	TV	TELEVISION
COL	COLUMN	GL	GLAZING	NO	NUMBER	TYP	TYPICAL
CONC	CONCRETE	G.S.F.	GROSS SQUARE FEET	NTS	NOT TO SCALE	UON	UNLESS OTHERWISE NOTED
CPT	CARPET	GWB	GYPSPUM WALLBOARD	PNL	PANEL	VERT	VERTICAL
CT	CERAMIC TILE	H/C	HANDICAPPED	PNT	PAIN	VCT	VINYL TILE
CW	COLD WATER	HC	HOLLOW CORE	PREFAB	PREFABRICATED	VWC	VINYL WALL COVERING
DF	DRINKING FOUNTAIN	HM	HOLLOW METAL	PSF	POUNDS PER SQUARE FOOT	W/	WITH
DIA	DIAMETER	HORZ	HORIZONTAL	PSI	POUNDS PER SQUARE INCH	W/O	WITHOUT
DIM	DIMENSION	HR	HOUR	PT	PRESSURE TREATED	W	WEST
DIV	DIVISION	HT	HEIGHT	PWD	PLYWOOD	WD	WOOD
DN	DOWN	HVAC	HEATING, VENTING & AIR CONDITIONING	RAD	RADIUS	WIN	WINDOW
DS	DOWNSPOUT	HW	HOT WATER	RD	ROAD	WP	WATERPROOFING
DWG	DRAWING	IN	INCH				
E	EAST	INS	INSULATION				
EJ	EXPANSION JOINT						

## SHEET INDEX

ARCHITECTURE	
A1.1	EXTERIOR ELEVATIONS & DETAILS
A1.2	EXTERIOR ELEVATION AND ALTERNATE

## APPLICABLE CODES:

BUILDING CODES:			
IBC	2021	W. AMENDMENTS FROM THE CITY OF HAGERSTOWN	
IRC	2021	W. AMENDMENTS FROM THE CITY OF HAGERSTOWN	
IECC	2021	W. AMENDMENTS FROM THE CITY OF HAGERSTOWN	
IEBC	2021	W. AMENDMENTS FROM THE CITY OF HAGERSTOWN	
IMC	2021	W. AMENDMENTS FROM THE CITY OF HAGERSTOWN	
IPC	2021	W. AMENDMENTS FROM THE CITY OF HAGERSTOWN	
NEC	2020	W. AMENDMENTS FROM THE CITY OF HAGERSTOWN	
NFPA 70	2017		
FIRE CODES:			
NFPA 1	2018	W. AMENDMENTS FROM MARYLAND STATE	
NFPA 101	2018	W. AMENDMENTS FROM MARYLAND STATE	
ACCESSIBILITY:			
AMERICANS WITH DISABILITY ACT ACCESSIBILITY GUIDELINES (ADAAG 2010)			
MARYLAND ACCESSIBILITY			



21 West Franklin Street  
Hagerstown, MD 21740

Phone: 301.791.7935

POTOMAC TOWER  
BALCONY DOOR  
REPLACEMENT  
11 W BALTIMORE ST.  
HAGERSTOWN, MD 21740

### PROJECT OWNER:

HAGERSTOWN HOUSING AUTHORITY  
35 W BALTIMORE ST.  
HAGERSTOWN, MD 21740

### PROJECT ARCHITECT:

MSB ARCHITECTS  
21 WEST FRANKLIN STREET  
HAGERSTOWN, MD 21740

February 6, 2024

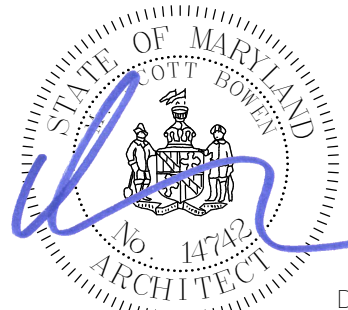
### PHASE:

CONSTRUCTION  
DOCUMENTS

### SUBMITTALS / REVISIONS

#	ISSUE DATE	DRAWN BY	DESCRIPTION
1	02/06/2024	JMK	ALTERNATE 1

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE STATE OF MARYLAND



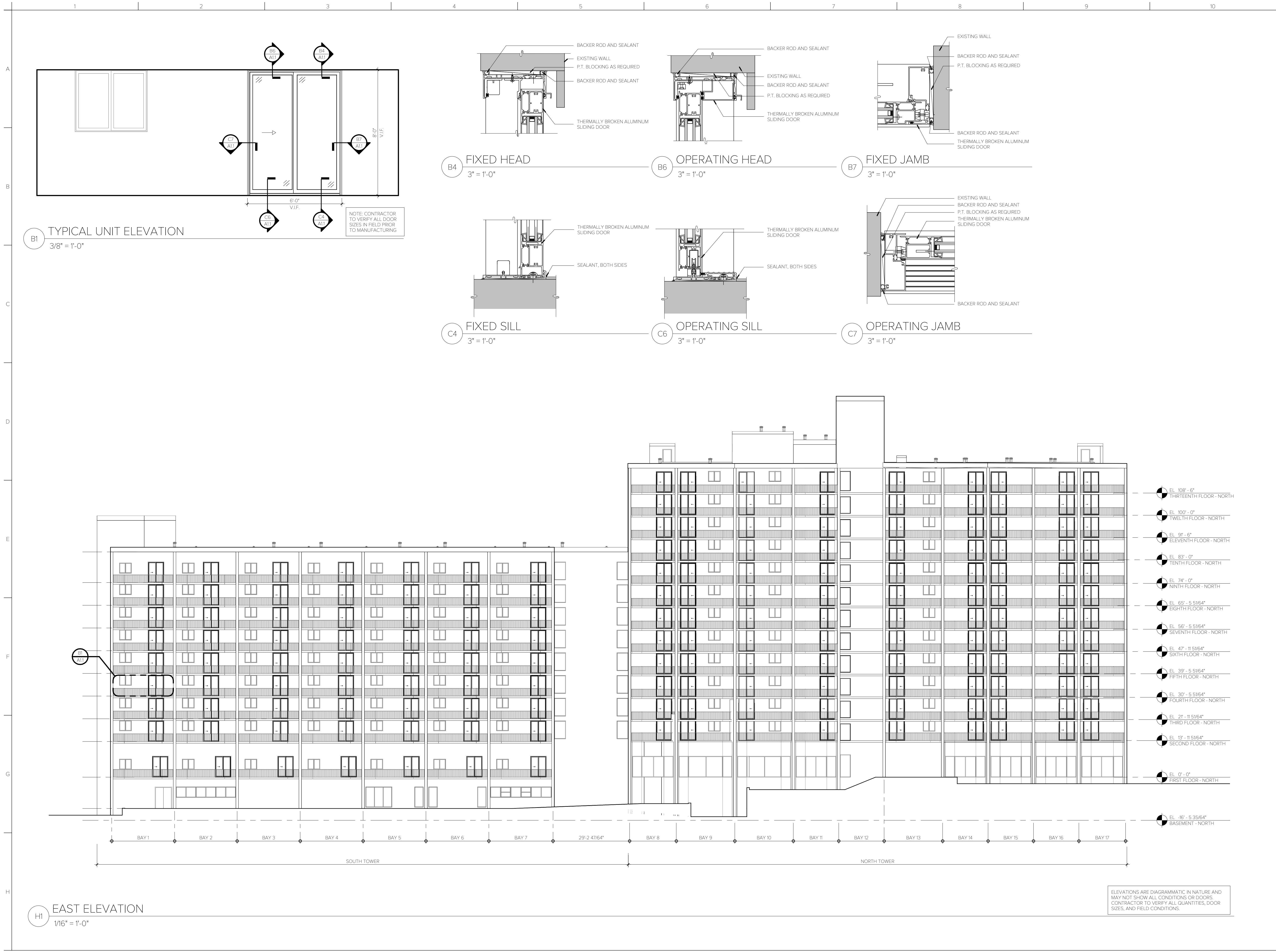
DATE ISSUED:  
February 6, 2024

LICENSE NUMBER: 14742

EXPIRATION DATE: 8/24/2024



8/11/2023 8:19:56 AM N:\2022\2229 HHA Potomac Tower Door Replacement\2229 CAD\2229 CD\2229 CD.rvt



21 West Franklin Street  
Hagerstown, MD 21740  
Phone: 301.791.7935

## POTOMAC TOWER BALCONY DOOR REPLACEMENT

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HAGERSTOWN, MD 21740

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STATE OF MARYLAND



LICENSE NUMBER: 14742 EXPIRATION DATE: 8/24/2024

PHASE: DATE ISSUED:  
August 11, 2023 August 11, 2023

### CONSTRUCTION DOCUMENTS

#### SUBMITTALS / REVISIONS

REV. NO.	ISSUE DATE	DRAWN BY	DESCRIPTION
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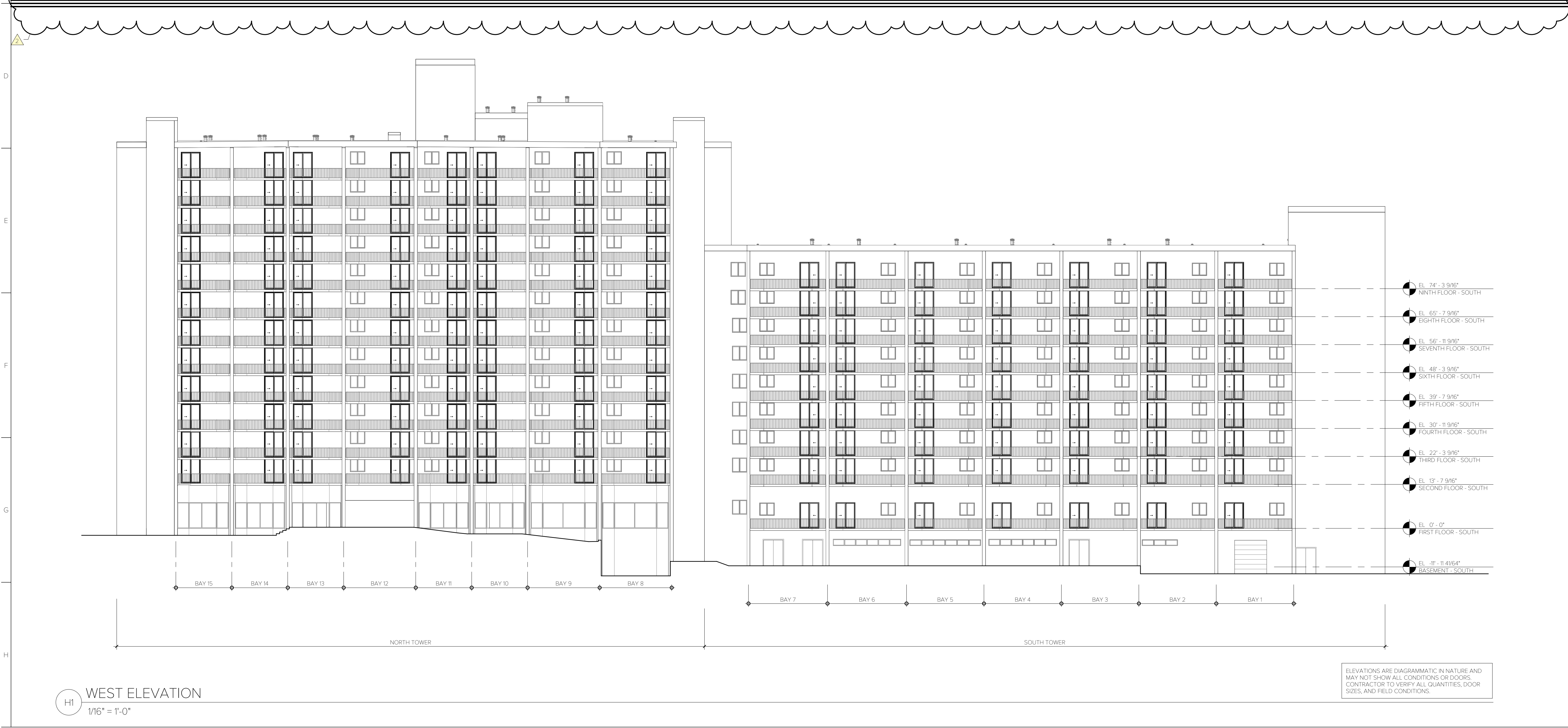
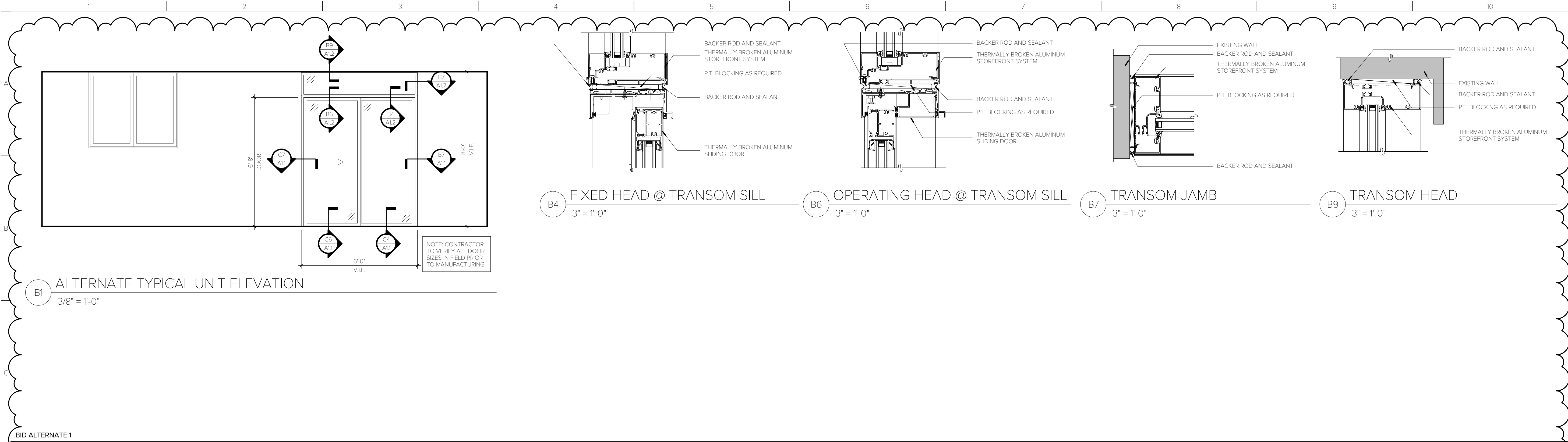
CHECKED BY: MSB DRAWN BY: JMK  
DATE: August 11, 2023 SCALE: AS NOTED

DRAWING NAME:  
EXTERIOR ELEVATIONS &  
DETAILS

SHEET:

# A1.1

JOB #: 2229 © 2023 MSB ARCHITECTS



msb

ARCHITECTS

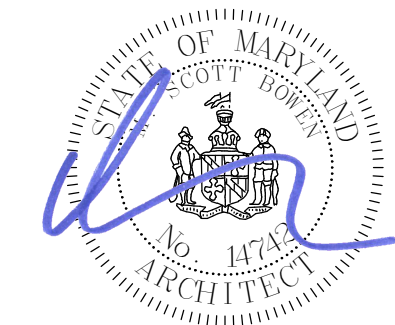
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POTOMAC TOWER BALCONY  
DOOR REPLACEMENT

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2		02/06/2024	JMK	ALTERNATE 1

CHECKED BY: MSB      DRAWN BY: JMK  
DATE: February 6, 2024      SCALE: AS NOTED

DRAWING NAME:  
EXTERIOR ELEVATION  
AND ALTERNATE

SHEET:

A1.2